

Townhome: A single family dwelling unit constructed as a part of a series of dwelling units all of which are attached to adjacent dwellings by party walls or are located immediately thereto with no visible separation between walls or roofs.

Zero lot line home: A single family (detached or attached) dwelling unit, placed against one or more lot lines.

Condominium home: A multiple family dwelling of stacked flats in a structure greater than two stories on commonly held lots.

3.2 RESIDENTIAL ZONE CLASSIFICATIONS - DEVELOPMENT STANDARDS

McNaughton Specific Plan will provide a wide range of housing opportunities. Housing types and densities include the following:

<u>Classification</u>	<u>Product</u>	<u>Maximum Density</u>
Medium Low	o Single family detached dwelling	5.5 Du/AC
	o Zero lot line/patio home	
Medium High	o Zero lot line/patio homes	10 Du/AC
	o Duplexes	
	o Triplexes	
	o Four plexes	
	o Townhouses and condominiums	
High	o Townhouses and condominiums	20 Du/AC
	o Apartments	

Housing types will range from single family attached units on medium to large lots, to apartments. The three residential zone classifications contained in these development standards correspond to the residential land use classification in the Specific Plan. The purpose of these provisions is to regulate the planning and development of each residential area. The following development standards are general to all residential areas.

- A. Minimum setbacks in each zone shall apply except where structures abut a park, greenbelt, or other permanent open space. Setbacks may be reduced by the Planning Commission if it is found that the adjacent open space is substantial and permanent and further finds that the exception will not grant a special privilege as compared to other properties in the neighborhood.

- B. Where garages or carports are entered directly from an alley, no setback shall be required, provided at least 24 feet of clear area is provided directly behind the garage or carport to allow for adequate back-up clearance.
- C. Signage shall comply with the standards and guidelines set forth in the Specific Plan Design Guidelines and City Sign Ordinances and Regulations.
- D. Fencing and walls shall be designed according to the standards and guidelines set forth in the Specific Plan Design Guidelines.
- E. The following minimum dwelling unit size (living space) shall be maintained in the Specific Plan zoning classification as follows:

Single Family Detached	1050 square feet/2 bedrooms
Zero Lot Line/Patio Homes	1050 square feet/2 bedrooms
Duplexes	850 square feet/1-2 bedrooms
Triplexes	750 square feet/1 bedroom
Four plexes	650 square feet/1 bedroom-Studio
Condominiums/Townhouses	750 square feet/1 bedroom
Apartments	450 square feet/1 bedroom-Studio

3.2.1 MEDIUM LOW DENSITY RESIDENTIAL

Land designated as medium low density residential is intended for residential development that ranges from one (1) to 5.5 dwellings per gross acre. Housing types include single units, and single family zero lot line and patio home units.

- A. Principal Uses Permitted: The following uses are permitted provided a site plan has been approved prior to issuance of a building permit pursuant to the provisions of Section 058.11 of the City of Coachella Specific Plan Ordinance 567 as adopted.

Permitted Uses Include:

1. Single family detached dwellings
2. Single family zero lot line/patio homes
3. Public parks, playgrounds, athletic fields
4. Golf courses, clubhouses, lodges, lakes and associated amenities
5. Schools, public or private

B. Temporary Uses Permitted

1. Temporary construction facility during construction
2. Model homes and real estate offices serving this site only during sales period

C. Accessory Uses Permitted

1. Garages
2. Fences, walls and hedges
3. Swimming pools and other recreational amenities
4. Accessory buildings, structures, and uses where related and ancillary to a permitted use
5. Home occupations
6. Pedestrian and bicycle trails
7. Non-commercial keeping of pets
8. Any other accessory use of structure which the Planning Commission finds consistent with the purpose and intent of this zoning classification.

D. Site Development Standards

1. Single Family Detached Dwellings
 - a. Lot area: 6,000 square feet minimum
 - b. Lot width: 55 feet minimum except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 35 feet and a minimum width at the setback line of 45 feet
 - c. Lot depth: Minimum average lot depth shall be 100 feet.
 - d. Front yard setback: Minimum 20 feet from the front property line to face of garage; minimum of 15 feet for the remainder of the frontage.
 - e. Side yard setback: 5 feet minimum with Recreation Vehicles prohibited. Minimum street side setbacks shall be 15 feet.

- f. Rear yard setback: 25 feet minimum, 15 feet when a lot is adjacent to a golf course or recreational open space.
- g. Building height: 30 feet maximum
- h. Parking: See Section 3.6.

2. Zero Lot Line/Patio Homes

- a. Lot area: 4,000 square feet minimum
- b. Lot width: 50 feet minimum except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 30 feet and a minimum width at the setback line of 40 feet.
- c. Lot depth: Minimum lot depth shall be 80 feet.
- d. Front yard setback: Minimum 10 feet from the front property line to face of garage permitted if automatic garage door opener is provided; (otherwise 15 feet); 15 feet minimum for balance of lot.
- e. Side yard setback: None (Minimum ten foot separation between buildings.) Minimum street side setbacks shall be 15 feet.
- f. Rear yard setback: 10 foot minimum.
- g. Building height: 28 foot maximum
- h. Building site coverage: 50 percent maximum
- i. Parking: See Section 3.6.

- E. Filing Requirements: Development shall be subject to architectural review as set forth in Section 080.10 of the City's Zoning Ordinance and the City's Planning Process for Architectural Review.

3.2.2 MEDIUM HIGH DENSITY RESIDENTIAL

Land designated as Medium High Density Residential is intended for residential development that ranges from 5.5 to 10 dwellings per gross acre. Housing types include single family detached units and attached single family units.

- A. Principal Uses Permitted: The following uses are permitted provided a site plan has been approved prior to issuance of a building permit pursuant to the provisions of Section 508.11 of the City of Coachella Specific Plan Ordinance 567 as adopted.
1. Zero lot line/patio homes
 2. Duplexes, triplexes and four plexes
 3. Single family attached dwellings including townhomes and condominiums
 4. Schools, public or private
 5. Public parks or playgrounds, athletic fields
 6. Golf courses, lodges and clubhouses, lakes, rowing clubs, and associated amenities
 7. Religious institution structures
- B. Temporary Uses Permitted
1. Temporary construction facility during construction
 2. Model homes and real estate offices serving this site only during sales period.
- C. Accessory Uses Permitted
1. Garages and carports
 2. Walls, fences and hedges
 3. Swimming pools and other recreational amenities
 4. Accessory buildings, structures and use where related, and ancillary to a permitted use
 5. Home occupations
 6. Pedestrian and bicycle trails
 7. Non-commercial keeping of pets
 8. Any other accessory use or structure which the Planning Commission finds consistent with the purpose and intent of this Zoning Classification.

D. Site Development Standards

1. Zero lot line/patio homes

- a. Lot area: 4,000 square feet minimum
- b. Lot width: 50 feet minimum except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 35 feet and a minimum width at the setback line of 40 feet
- c. Lot depth: Minimum lot depth shall be 80 feet
- d. Building site coverage: 50 percent maximum
- e. Front yard setback: Minimum 10 feet from the front property line to face of garage permitted if automatic garage door opener is provided; minimum of 15 feet for balance of lot
- f. Side yard setback: None. (Minimum ten foot separation between buildings.) Minimum street side setbacks shall be 15 feet.
- g. Rear yard setback: 10 feet minimum
- h. Building height: 28 feet maximum
- i. Parking: See Section 3.6

2. Attached dwellings

- a. Minimum Lot Area
 - (1) Duplex 7,000 square feet
 - (2) Triplex 7,500 square feet
 - (3) Four plex 8,000 square feet
- b. Lot width: 65 feet minimum, except lots fronting on knuckles or cul-de-sacs may have a minimum frontage of 45 feet and a minimum width at the setback line of 55 feet.
- c. Lot depth: Minimum average lot depth shall be 100 feet
- d. Building site coverage: 50 percent maximum

- e. Front yard setback: Minimum 15 feet from the property line; 10 foot garage setback permitted if automatic garage door opener provided
- f. Side yard setback: 10 feet minimum. Minimum street side setbacks shall be 15 feet.
- g. Rear yard setback: 10 feet minimum
- h. Building height: 28 feet maximum
- i. Parking: See Section 3.6

3. Condominiums and Townhouses

- a. Building site area: Minimum 3 acres
- b. Building site coverage: 50 percent maximum
- c. Building setbacks: Minimum street setback shall be 15 feet from street right-of-way. Ten (10) foot garage setback permitted if automatic garage door opener is provided.
- d. Building height: 28 feet maximum
- e. Building separation: 15 feet minimum
- f. Parking: See Section 3.6

- E. Filing Requirements: Development shall be subject to architectural review as set forth in Section 080.10 of the City's Zoning Ordinance and the City's Planning Process for Architectural Review.

3.2.3 HIGH DENSITY RESIDENTIAL

Land designated as High Density Residential is intended for residential development that ranges from 10 to 20 dwellings per gross acre. Housing types include condominiums, townhouses and apartments.

- A. Principal Uses Permitted: The following uses are permitted provided a site plan has been approved prior to issuance of a building permit pursuant to the provisions of Section 058.11 of the City of Coachella Specific Plan Ordinance 567 as adopted.

- 1. Townhomes and condominiums

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2. Garden apartments and apartments
 3. Public parks, playgrounds, athletic fields
 4. Golf courses, lodges and clubhouses, lakes and associated amenities
- B. Temporary Uses Permitted
1. Temporary construction facility during construction
 2. Model homes and real estate offices serving this site only during sales period
- C. Accessory Uses Permitted
1. Garages and carports
 2. Walls, fences and hedges
 3. Swimming pools and other recreational amenities
 4. Accessory buildings, structures, and uses where related and ancillary to a permitted use
 5. Home occupations
 6. Non-commercial keeping of pets
 7. Pedestrian and bicycle trails
 8. Any other accessory use or structure which the Planning Director finds consistent with the purpose and intent of this Specific Plan Zoning Classification
- D. Site Development Standards
1. Building Site Area: 3 Acre minimum
 2. Floor Area Ratio: 50 percent maximum, provided that any building higher than 35 feet shall require a conditional use permit, minimum 30% open space requirement exclusive of residential buildings, drive-aisles, and parking areas.
 3. Building Setbacks: Subject to site plan review
 4. Building Height: 35 feet maximum; Fifty-five (55)

feet allowed subject to CP.

5. Building Separation: 20 feet minimum up to 35 foot height; 35 feet minimum up to fifty-five (55) feet height.

6. Parking: See Section 3.6

E. Filing Requirements: Development shall be subject to architectural review as set forth in Section 080.10 of the City's Zoning Ordinance and The City's Planning Process for Architectural Review.

3.3 COMMERCIAL ZONE DEVELOPMENT STANDARDS

It is anticipated that the population generated by the completion of the McNaughton Specific Plan will be served by a hierarchy of commercial centers including a full service, lake-oriented community shopping center, neighborhood and highway oriented centers. Retail opportunities are also at hotel complexes with ancillary specialty retail and restaurant services.

Land designated as commercial is intended to serve daily retail commercial needs for residents and resort guests, provide community-wide retail opportunities, specialty retail stores, restaurants and fast food outlets, professional office space, and hotel complexes with associated retail, restaurant, conference and recreation opportunities. The following regulations apply:

A. Principal Permitted Uses: The following uses are permitted, only in enclosed buildings, with no more than 200 square foot of outdoor storage provided that a site plan has been approved prior to issuance of a building permit pursuant to the provisions of Section 058.11 of the City of Coachella Specific Plan Ordinance 567 as adopted.

1. All general, administrative, corporate and professional offices, including office park
2. Appliance stores
3. Art supply shops and studios
4. Auditoriums and conference rooms
5. Automobile parts and accessory stores

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5. Automobile parts and accessory stores
 6. Bakery shops
 7. Banks, savings and loan and other financial facilities
 8. Barber and beauty shops
 9. Bookstores
 10. Bowling alley
 11. Business support services (blueprint, copying, business cards, printing, etc.)
 12. Business machine sales and service, office supply
 13. Candy shops/cookie shops
 14. Catering services
 15. Clothing stores
 16. Convenience market
 17. Delicatessen
 18. Department stores
 19. Drug stores
 20. Dry cleaning outlet
 21. Dry goods stores
 22. Flower shop
 23. Food and beverage (fast food and food court included, no drive through)
 24. Gift shop/stationery
 25. Golf courses, clubhouses, lodges
 26. Hardware store
 27. Hobby shop
 28. Household goods sales, including furniture, carpets, draperies and fabrics

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29. Ice cream/yogurt shop
 30. Interior decorating shops
 31. Jewelry shop
 32. Laundromat
 33. Music store (records and video rentals)
 34. Notions or novelty store
 35. Paint and wallpaper stores
 36. Pet store and supply
 37. Pharmacies
 38. Photography shops, photofinishing and studios
 39. Produce market
 40. Refreshment stands
 41. Restaurants and eating establishments (other than drive through)
 42. Schools, business and professional
 43. Shoe stores and repair shops
 44. Shoeshine stand
 45. Shopping centers
 46. Sporting goods stores
 47. Supermarket
 48. Tailor shop/tuxedo rental
 49. Theatres (not including drive-in)
 50. Tire sales and service, not including recapping
 51. Tobacco shops
 52. Tourist information center
 53. Toy shops

54. Travel agents
 55. Wholesale business/discount store
 56. Other similar uses which are found by the Planning Commission to be consistent with the above-listed uses and which are consistent with the intent of this land use classification.
- B. Permitted Outdoor Uses: The following uses are permitted, together with outside storage and display of materials appurtenant to such use, provided a site plan has been approved prior to issuance of a building permit pursuant to the provisions of Section 058.11 of the City of Coachella Specific Plan Ordinance 567 as adopted.
1. Auto rentals
 2. Bicycle sales and rentals
 3. Boat and marine sales and rentals
 4. Fishing and casting ponds
 5. Golf cart sales and service
 6. Home improvement or hardware stores, plumbing and electrical, including not more than 15,000 square feet of outdoor storage
 7. Mobile homes used exclusively for construction offices and caretaker's quarters on construction sites for the duration of a valid building permit, provided the location is inconspicuous
 8. Nurseries and garden supply sales
 9. Parking lots and parking structures
 10. Restaurants with outdoor seating
 11. Other similar uses which are found by the Planning Commission to be consistent with the above-listed uses and which are consistent with the intent of this land use classification.
- C. Uses Subject to a Conditional Use Permit: The following uses are permitted provided a conditional use permit has been granted pursuant to the provisions of Section 080.50 of the Coachella Zoning Ordinance.

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1. All uses in subsection A of this section which have more than 200 square feet of outdoor storage or display of materials
 2. Automobile car washes and repair garages, not including body work
 3. Building materials sales yard
 4. Child care facilities
 5. Cocktail lounges and bars including dancing
 6. Convalescent care facilities, rest homes and active senior facilities
 7. Drive through restaurants
 8. Health clubs and other personal service establishments
 9. Hotels, resort hotels and motels
 10. Liquor stores
 11. Private clubs, fraternal organization or lodges (not associated with golf course)
 12. Service stations/auto tuning/lube
 13. Sports and recreational facilities not including motor driven vehicles and riding activities, but including archery ranges, athletic playgrounds, miniature golf course, sports arenas, skating rinks, tennis facilities and commercial swimming pools
- D. Site Development Standards: All commercial center shopping center and hotel resort land uses as designated in the land use plan shall be subject to the provisions of the C-G General Commercial Zone as delineated in Section 042 of the Coachella Zoning Code, unless otherwise specified as follows:
1. Lot Area: 30,000 square feet
 2. Lot Width: 50 foot minimum
 3. Site Coverage: No limit subject to site plan or conditional use permit review

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4. **Building Setbacks:** No minimum within the commercial zone, subject to site plan review or conditional use permit review. Where the commercial zone abuts any other zone, the property development standards as specified in Section 042.03 of the Coachella Zoning Code shall apply.
 5. **Building Height:** No maximum within the commercial zone subject to site plan or conditional use permit review.
 - a. The maximum height of any building located within 150 feet of the Medium Low Density Residential and the Medium High Density Residential Zone shall be thirty-five (35) feet maximum. Vehicular right-of-way shall be included in calculation.
 - b. The maximum height of any building located within 150 feet of the High Density Residential Zone shall be fifty-five (55) feet in height. Vehicular right-of-way shall be included in the distance calculation.
 6. All roof-mounted mechanical equipment shall be screened, subject to site plan or conditional use permit review.
 7. Fencing and walls, screening of outside storage and loading areas, signing, lighting and refuse disposal areas shall be subject to site plan or conditional use permit review.
 8. Projects shall conform to the architectural and landscape design guidelines and standards of the Specific Plan Design Guidelines and shall be subject to site plan or conditional use permit review.
 9. **Parking requirements:** See Section 3.6.
- E. **Filing Requirements:** Development shall be subject to architectural review as set forth in Section 080.10 of the City's Zoning Ordinance and the City's Planning Process for Architectural Review.

3.4 PUBLIC FACILITIES ZONE

The following community support uses shall be permitted within the base Residential Zones (ML, MH, H) and Commercial Zones (C), consistent with the Specific Plan.

A. Principal Uses Permitted

1. Open space.
2. Parks, trails, and other public or private recreation facilities.
3. Public schools.
4. Fire stations and other public or quasi-public facilities.
5. Water reservoirs and related facilities.
6. Hospitals subject to a CUP.
7. Accessory buildings, structures and uses related and incidental to the above.
8. Sewage treatment facility.
9. Other similar uses which are found by the Planning Commission to be consistent with the above-listed uses and which are deemed consistent with this land use classification.

- B. Site Development Standards: Site development of public facilities within this zone is subject to the applicable standards of the City of Coachella Zoning Code.

3.5 RECREATION ZONE DEVELOPMENT STANDARDS

Land designated as recreation is intended to provide opportunities for both active and passive recreation and support commercial uses whose focus is recreation or entertainment.

The VIP Lodge, lakes/lagoons, golf courses and clubhouses, rowing club and community lake, equestrian center and polo facilities, and adjacent open space areas as designated in the land use plan shall be subject to the following regulations which ensure that future development within the Recreation Zone proceeds in a compatible manner.

- A. Principal Permitted Uses: The following uses are permitted provided that a site plan has been approved prior to issuance of a building permit pursuant to the provisions of Section 058.11 of the City of Coachella Specific Plan Ordinance 567 as adopted.

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2. Equestrian trails
 3. Golf courses, clubhouses, lodges
 4. Health club
 5. Hiking trails
 6. Lakes and water features, fishing lakes
 7. Lawn bowling
 8. Meeting/activity rooms/facilities
 9. Miniature golf
 10. Municipal Uses (as identified in Section 3.4)
 11. Natural open space
 12. Parks, playfields, athletic fields
 13. Practice golf range/pitch and putt
 14. Racquetball facilities
 15. Recreation center
 16. Skating rinks
 17. Snack bars and refreshment stands
 18. Swim club
 19. Tennis facility
- B. Uses Subject to Conditional Use Permit: The following uses may be permitted as consistent with the purpose and intent of the Recreation Zone by the Planning Commission, subject to a Conditional Use Permit (CUP).
1. Bowling alley
 2. Coffee houses/cafe
 3. Movie theatres (excluding drive-in)
 4. Recreation vehicle park - overnight camping
 5. Sports apparel/equipment retail

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5. Sports apparel/equipment retail
 6. Support retail and restaurant establishments
 7. Other uses, which are found by the Planning Commission to be compatible with the intent and purposes of the Recreation Zone.

C. Site Development Standards: The recreation uses shall be subject to the following regulations:

1. Site Area: 10,000 square foot minimum
2. Lot Width: 100 foot minimum
3. Front Building Setback: 25 feet
4. Site Building Setback: 5 feet
5. Building Setback to Open Space: 35 feet
6. Front Landscape Setback: 15 feet
7. No setback to open space required for outdoor recreation uses
8. Building Height Maximum height limit of thirty-five (35) feet within the Recreation Zone subject to site plan review.
 - a. The maximum height of any building located within 150 feet of the Medium Low and Medium High Density Residential Zone shall be thirty-five (35) feet maximum. Vehicular right-of-way shall be included in the calculation.
 - b. The maximum height of any building located within 150 feet of the High Density Residential Zone shall be forty-five (45) feet in height. Vehicular right-of-way shall be included in the distance calculation.
9. All roof-mounted mechanical equipment shall be screened, subject to site plan review.
10. Fencing and walls, screening of outside storage and loading areas, signing, lighting and refuse disposal areas shall be subject to site plan review.

11. Projects shall conform to the architectural design and landscape guidelines and standards of the Specific Plan Design Guidelines and shall be subject to site plan review.
 12. Parking requirements: See Section 3.6.
- C. Filing Requirements: Development shall be subject to architectural review as set forth in Section 080.10 of the City's Zoning Ordinance and the City's Planning Process for Architectural Review.

3.6 PARKING STANDARDS

These regulations are established in order to assure that parking areas are properly designed and located in order to meet the parking needs created by specific uses.

3.6.1 BASIC REQUIREMENTS FOR OFF-STREET PARKING

It shall be the responsibility of the developer, owner or operator of any specific use to provide adequate off-street parking areas. Off-street parking and loading areas are to be established in a manner that will ensure their usefulness, protect the public safety, and, where appropriate, buffer surround land uses from their impact, and are subject to the provisions of Sections 070.030.010 through 070.030.140 of the Coachella Zoning Code, with exceptions as specified in the Specific Plan.

- A. Off-street parking shall be provided subject to the provisions of the Coachella Zoning Code and the Specific Plan development standards for:
1. Any new building constructed
 2. Any new use established
 3. Any addition or enlargement of an existing building or use
 4. Any change in the occupancy of any building or the manner in which any use is conducted that would result in additional parking spaces being required
- B. The required parking spaces or garages shall be located on the same building site.
- C. All off-street parking spaces and areas required by this ordinance shall be designed and maintained to be fully usable for the duration of the use requiring such areas and spaces.

off-street parking requirements.

- E. Whenever the computation of the number of off-street parking spaces required by this Section results in a fractional parking space, one additional space shall be required.
- F. Tandem parking shall be permitted if valet parking is provided.
- G. Access drives and aisle widths shall be in accordance with the provisions of Section 070.03.040 of the Coachella Zoning Code.

3.6.2 NUMBER OF PARKING SPACES REQUIRED

The minimum number of parking spaces required, as specified in Section 070.03.030 of the Coachella Zoning Code shall apply to all development within the resort.

3.6.3 LANDSCAPING

- A. Commercial, Community Facilities and Recreation Areas
 - 1. All off-street parking areas shall be screened so as to minimize the negative visual effect from access streets.
 - 2. Landscape and irrigation plans, including the type and location of plant materials, shall be submitted to and approved by the Planning Director following approval of the conceptual landscape plan.
 - 3. Landscaping standards shall meet the specifications set forth in Section 3.7.
 - 4. A minimum of 10 percent of the net interior off-street parking area (exclusive of building area, loading docks and sidewalks) shall be landscaped with at least one (1) fifteen (15) gallon minimum size tree per each ten parking stalls (which may be clustered or grouped) and appropriate ground cover.
 - 5. The visual appearance of major parking areas shall be softened by the use of extensive landscaping in planters, medians and berms.
 - 6. The use of evergreen trees will be encouraged in parking areas to provide year-round shade cover.

3.7 LANDSCAPE STANDARDS

3.7.1 PURPOSE AND INTENT

- A. To help stabilize the ecological balance of the environment through the process of air purification, oxygen regeneration, ground water recharge, storm water run-off detention, and evaporation control, in addition to noise, glare, and heat abatement.
- B. To replenish the local stock of native trees and vegetation through the use of native plant species.
- C. To visually soften the appearance of the development by buffering the landscape.
- D. To enhance property values and protect public and private investment by protecting development from the elements, and conserving energy.
- E. To minimize the effects of development on the environment.
- F. To protect the public's health safety and welfare.

3.7.2 APPLICATION OF LANDSCAPE REQUIREMENTS

- A. Extent of Area Applicable: The following landscape requirements shall apply to all property identified as being within the boundaries of the McNaughton Specific Plan.
- B. Application Towards Individual Lots:
 - 1. Said landscape requirements will be deemed applicable to each individual lot at the time of building permit application for that lot and remain with any subsequent owner.
 - 2. Any common development which includes more than lot will be treated as only one lot for the purpose of these landscape standards.
 - 3. Joint ownership, phasing, and multiple building permit application shall not prevent such a project from being classified as a common development and adhering to the appropriate standards therein.

3.7.3 BASIC LANDSCAPE REQUIREMENTS

A. Yard Coverage

1. The street yard area adjacent to the street shall be landscaped street area. Street yard is defined as the area of a lot which lies between the property line abutting a street and the street wall line of a building.
2. All new planted trees shall be planted in a permeable area of no less than three feet in diameter, in any direction.

B. Amount of Planting: At least two trees of six feet 8in height minimum, and 1 1/4 inches in diameter (measured 6 inches up from the base shall be included or replaced in street yards of all residential lots. Additional requirements are established per the following ratios.

1. In residential lots up to 4,000 square feet total, include a minimum of two trees.
2. In residential lots greater than 4,000 square feet up to 6,000 square feet, include three trees.
3. In residential lots over 6,000 square feet, 10 trees for the first 10,000 square of street yard area, and one tree for every 2,500 square feet of additional street yard thereafter.

C. Preservation of Existing Character

1. The site's natural character shall be preserved to the maximum extent possible, especially regarding native plant species.
2. The developer shall make his best effort to preserve any good stand of trees, in any area of the street yard.

D. Impervious Cover: The impervious cover within the area of dripline for any tree of four inches in caliper or greater may not exceed 50 percent for each square foot of that landscaped area to count as 1 1/2 square feet.

E. Parking Areas: Parking & vehicle storage areas shall be landscaped in accordance with the provisions of section 3.6. A minimum of 10 percent of the net interior off-street parking area (exclusive of sidewalks) shall be landscaped with at least one (1)

fifteen (15) gallon minimum size tree per each ten parking stalls (which may be clustered or grouped), and appropriate ground cover.

- F. Irrigation: All required landscaping shall be irrigated by one of the following methods:
1. An underground sprinkler system.
 2. A hose attachment within 100 feet of all landscaping in street yards and within 200 feet for non-street yards.
- G. Protection of Trees: All landscaping in areas adjacent to pavement shall be protected by curbs, mow strips, hedges or border plants to insure the protection of the trees within them.
- H. Obstruction of Street Views: Landscaping shall not obstruct street views towards access drives and parking aisles nor towards the radius of any curb return.
- I. Maintenance: Required landscaping areas shall be continuously maintained so that they are free of debris, litter, and weeds with the replacement of landscaping done as necessary.
- J. Adjacent Right of Ways: The developer will landscape the areas within the non-paved street right of ways that abut their land, providing the following:
1. The city may require the removal of said landscaping at a time deemed necessary, without being liable for it.
 2. Said landscaping shall observe the provisions of the City code regarding traffic & pedestrian safety.
 3. Any permanent irrigation systems or other structures will require a licensed agreement with the proper jurisdiction in authority over the right of way.

3.7.4 PROCEDURES

- A. Site Plan Review: The site plan shall contain the necessary information outlined in the parameters below, whenever a site plan review by the Planning Commission is required prior to applying for a building permit. In addition, the building permit application shall be accompanied by a site plan containing that necessary information.
1. The date, scale, north arrow, project title, and name of the owner.
 2. The location of existing tract boundary lines and their dimensions, along with the tract acreage.
 3. The approximated centerline of existing water courses and location of significant drainage features; the location and size of any existing street, sidewalks, and easements as well as any proposed ones.
 4. The location of any existing trees that would be in a street yard or parking lot if the trunk's caliper size is eight inches or larger. Also, the species and approximate canopy size.
 5. The size, type, and location of proposed landscaping and the size & location of the landscaping areas.
 6. The proposed method of irrigation as required by section 3.7.3-F, above.
 7. The delineation of the street yard with its area in square feet & acres, in addition to the information necessary for verifying that the minimum percentage of landscaped area has been accounted for, as identified in section 3.7.3.
 8. Details as to how the existing trees will be protected during construction.
 9. A planting plan indicating the type, size, and location of the proposed landscaping with details on softscape planting and maintenance.
- B. Landscape Plans: Landscape plans approved by the Planning Commission as part of a site plan are subject to site inspection by the Planning Department for conformance.

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- C. Fees: An inspection fee, in the amount set by the City shall be collected by the Building Inspection Department at the time of application for an occupancy certificate.
 - D. Inspections: The Building Inspection Department shall inspect each between 9 & 12 months after issuing the occupancy certificate to ensure compliance with these regulations.

3.7.5 CREDITS TOWARD LANDSCAPING REQUIREMENTS

- A. Permeable Area: Every square foot of permeable landscaped area within the dripline of a tree at least four inches in caliper, shall count 150% for purposes of attaining the minimum site coverage requirements listed in section 3.7.3.
- B. Restrictions on Permeable Area Credit: The 150% credit shall be subject to the following limitations:
 - 1. Less than one half of the Dripline is permeable.
 - 2. There have been damaging changes to the dripline area.
 - 3. The total area receiving credit exceed the actual total of landscaped area within the dripline.
 - 4. Overlapping areas cannot be counted twice.
 - 5. Changes in grade required by ordinance are not considered damaging changes.
 - 6. Under no circumstances shall the credit be used so that the actual street yard is less than two-thirds of the required minimum percentages in section 3.7.3.

3.8 GRADING CONCEPT STANDARDS

Grading criteria, to be most effective, should be tailored on a "per site" basis, so that each unique set of conditions may be analyzed and the most sensitive techniques may be applied. The following standards provide general direction to grading designing the McNaughton Specific Plan. The primary focus of these standards is to ease the visual impact of grading. Primary emphasis is placed on molding the graded landform to reflect the natural topography. In the case of McNaughton Specific Plan, the existing relatively flat character of the site will enable

development to occur without significantly altering the natural landform, although at upper elevations development of the property will create manufactured cut slopes.

3.8.1 GENERAL CRITERIA

Landform alteration proposed as part of construction in any area of the property is subject to the following criteria:

- A. Manufactured slopes associated with residential construction and in excess of fifteen (15) feet in vertical height, shall be screened from view to the extent feasible by the residential building, accessory structure or vegetation.
- B. As an alternative to constant 2:1 slopes banks, manufactured slopes should be varied in cross-section and along the slope length, with variable gradients of 4:1, 3:1, and 1.5:1 slope ratios, resulting in an approximate average 2:1 slope.
- C. Manufactured landforms at development edges shall be recontoured to approximate their original form, and imitate a natural appearance.
- D. Manufactured slopes shall be curved in a contiguous, undulating fashion to reflect a more natural condition.
- E. The toe and crest of any manufactured slope in excess of ten (10) feet vertical height shall be rounded with vertical curves to blend with the natural topography, and shall be designed in proportion to the total height of the slope.
- F. All graded slopes shall be revegetated and irrigated in a manner consistent with the landscape standards.
- G. Where residential access across major drainage courses occurs it shall be accomplished by a bridge or aesthetically enhanced culvert accommodating only the access way. Where these improvements occur, natural materials shall be used for slope bank protection.

3.8.2 SPECIFIC CRITERIA

The following criteria shall be used to ensure acceptable standards of construction and minimize future site maintenance problems.

- A. If imported soil is required, the existing soil should be used for subgrade in streets and building areas with the higher quality soil used for planting areas.

-
- B. Berms, channels, swales, etc. shall be graded in such a way as to be an integral part of the graded and/or paved surface, and shall be designed with smooth vertical transitions between changes in slope. No drainage swales shall surface drain across pedestrian/bicycle paths.
 - C. All grading and drainage plans must be prepared under the direction of a licensed civil engineer.
 - D. All work shall be in accordance with the City of Coachella Grading and Excavation Code and standard drawings, and other governmental requirements as may be applicable.
 - E. All common area finish grades shall be installed per an approved grading and drainage plan, and certified as such by a licensed civil engineer.

4.0 GENERAL DESIGN GUIDELINES

4.1 PURPOSE AND INTENT

The McNaughton Development is intended to be a balanced residential and recreational/resort based community, located in a desert environment.

The purpose of these guidelines is to include criteria for use by builders, planners, architects, landscape architects and civil engineers. The design guidelines will serve as a basis for review, by McNaughton, of builder proposals and review to check conformance with overall community design concepts. The guidelines are general in character and are not meant to inhibit design concepts. By choosing a particular style the project area will develop a sense of place which people will be able to identify as the McNaughton Development. The project theme consists of an architectural style which not only suits the nature of the desert aesthetic environment, it conforms to policies the city recommends in the area of ecosystematic design.

4.2 PROJECT THEME

The selected development theme will revolve around the architectural style of "Early-California". The Early California theme is typically composed of an informal, casually organized architectural and landscape style. Structures are designed from wood and stone, to provide shade, and minimize the effects of the harsh desert environment. Plant material and landscape design is planned to withstand the desert environment by minimizing the introduction of plant material which has not been naturalized to the desert environment and will require a lot of water. Plant material will also be chosen in relation to its historical significance such as the common agricultural citrus groves and palm trees which defined the boundary of those groves. Each element, landscaping, signage, entry treatments and streetscape features, will work to reinforce this theme.

4.3 ARCHITECTURAL DESIGN GUIDELINES

4.3.1 CONCEPT

The development concept is planned to exhibit characteristics of early California architectural style. Ecosystematic design considerations should be incorporated into all aspects of the development to assure sensitive treatment of this unique environment.

This architectural style allows for variation, yet is recognizable as a theme and will maintain the overall project identity.

The characteristics typical of Early California architecture are summarized in the following sections. The characteristic architecture of the McNaughton Development is illustrated in Exhibit 17.

4.3.2 BUILDING FORMS

Building forms which typically reflect the Early California style are single-story, informal masses organized around a courtyard or a patio. Deep verandas/overhangs typically run the entire length of the building. Structures need to be clustered to achieve maximum shadow patterns providing shade and relief from the desert sun. Residential units are stacked to increase volume to surface area ratio to minimize energy needed in climate control. Structures also are encouraged to be designed so they are closely integrated with the natural terrain and compliment the environment.

4.3.3. ROOFS

Roofs are generally low-pitched (4:12) of hip or gable form. Massive materials with a reflective quality such as clay barrel tiles, shakes or shingles are acceptable roofing materials.

4.3.4 COLORS

Colors are typically earth-tone to blend with the landscape and reduce glare as well as reflect solar radiation. Accent colors are limited to doors, window trim, shutters or special architectural features and are used to add emphasis and interest.

4.3.5 ARCHITECTURAL DETAILS

Windows are double hang or casement with divided panes of glass being large and oriented to views of outdoor areas. Windows are also treated for solar mitigation by tinting glass, double-glazing windows, projecting roof or other architectural structures over the window.

French doors are commonly used but decorative elements are usually confined to lighting fixtures and chimney cap detailing. Accent along with color are made of wood detailing, an example of this would be timber rafter tails at building eaves.



CHARACTERISTIC ARCHITECTURE
McNAUGHTON SPECIFIC PLAN

EXHIBIT 17



CITY OF COACHELLA

4.4 LANDSCAPE GUIDELINES

4.4.1 CONCEPT

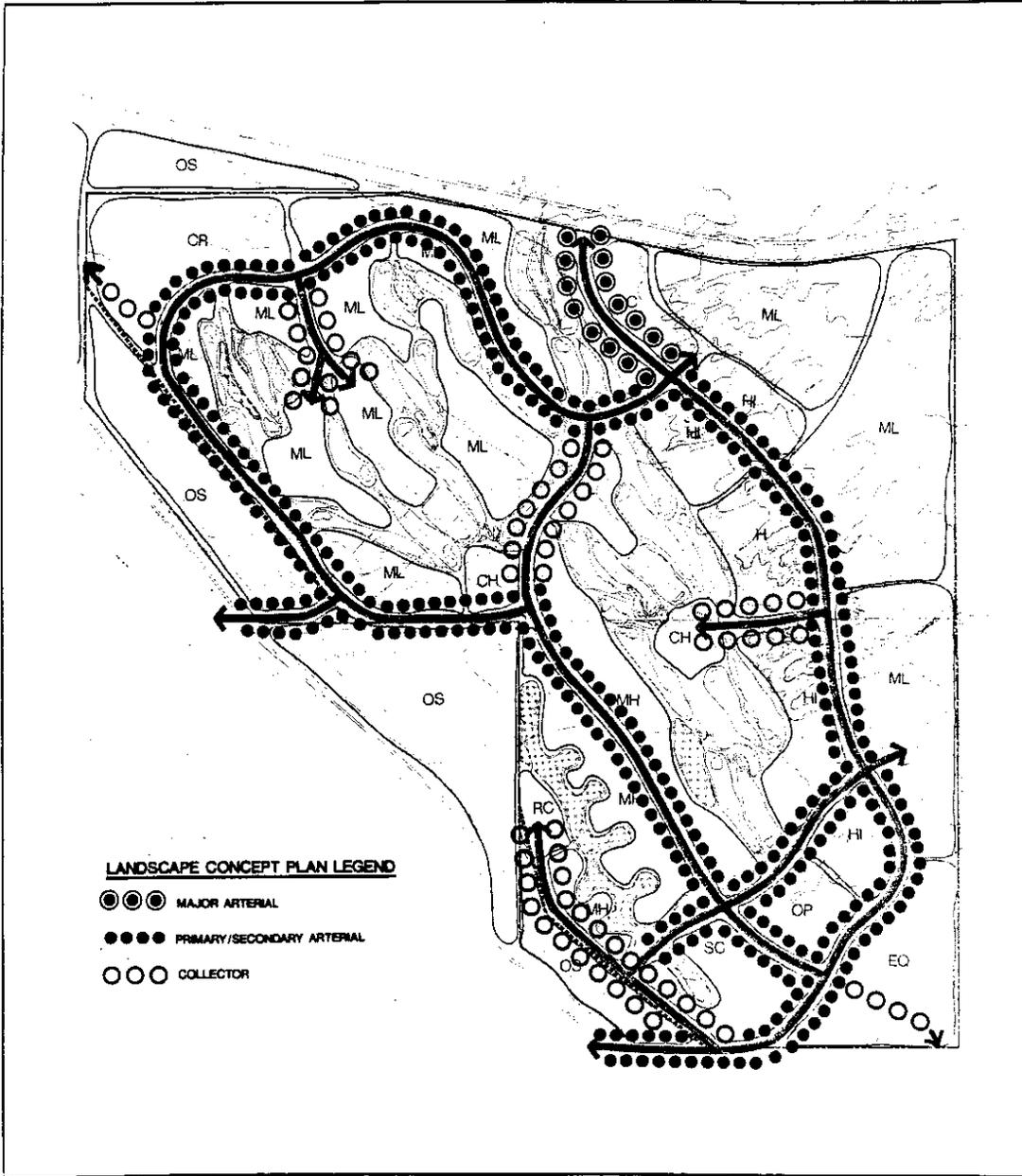
The early California community design theme will derive as much from the quality of the landscape as from the architectural design of the community. A need to retain continuity and quality exists, within this theme, while allowing for individuality and creativity.

Overall community identity will be strongly influenced by the quality of open space improvements and community entry treatments. The primary objective of the landscape development program is not only to reinforce the early California theme, but to also visually organize the development into distinguishable areas which can be easily located within the development. In an effort to capture the feeling of the indigenous landscape, plant materials should be selected for their ability to blend with and compliment the desert environment. Contrasting plant materials, such as plants which would require more water, or plants with a lot of color or of a more lush nature should be used to call out special points such as entries into particular areas or close to buildings and especially around their entrances. The community landscape palette places an emphasis on materials which are either indigenous, naturalized, or drought resistant. A Landscape Concept Plan for the McNaughton Development is provided in Exhibit 18.

4.4.2 ENTRY MONUMENTATION

Community entries will be defined by a thematic blend of constructed features, landscape features, project identity signage and specialty lighting conveying the unique image of the project. An illustration of signage/entries typicals is provided in Exhibit 19. A hierarchy of community entries will reinforce the unique thematic image throughout the project. The following paragraph shall guide design and development of community entry features.

- A. Monumentation should be bold and highly visible from all directions, but typically should not exceed six (6) feet in height. Excessively long monuments or facades are discouraged.
- B. Monuments installed at community entries should be for permanent project identification only.
- C. Entry monuments should be installed within maintained landscaped areas only and should be consistent in character with any perimeter walls, and with the landscape architectural character of the project.



LANDSCAPE CONCEPT PLAN
McNAUGHTON SPECIFIC PLAN

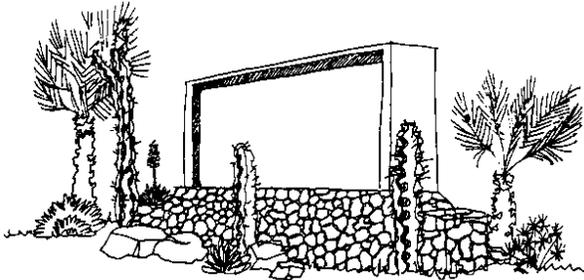
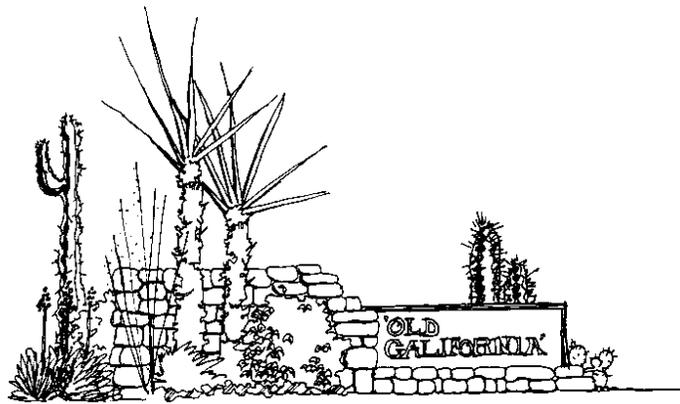
EXHIBIT 18



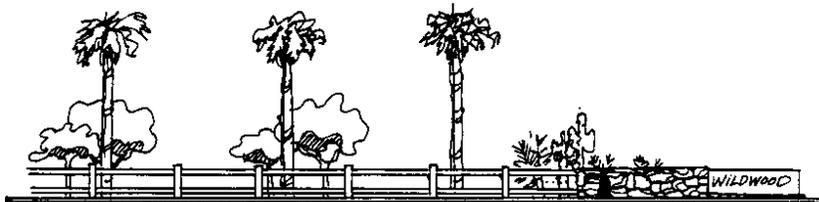
**THE
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COMPANIES**

CITY OF COACHELLA





Entries should announce the development theme by introducing materials such as wood, stone and desert type plant materials.



SIGNAGE/ENTRIES

McNAUGHTON SPECIFIC PLAN

EXHIBIT 19



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-
- D. All monuments should be constructed of stone and/or masonry material.
 - E. Decorative paving insets within public and private streets should be provided as appropriate to complement and highlight the community entry statement. Theme tree plantings should be located at community entries as appropriate and at a scale which reflects the hierarchy of the entry.
 - F. Decorative shrub, lawn and/or groundcover plantings and decorative boulders should be provided as appropriate to allow the community identity signage to blend into the landscape and streetscape design of the development.

4.4.3 STREETScape

Streetscapes, or street scenes, include the combination of landscape and hardscape features visible from the roadway. The landscape design development associated with the major arterial, primary/secondary arterial, and collector streets should be uniform and consistent to provide a sense of community identity as illustrated in Exhibit 20. Contrasts of tree form and their placement provide land use emphasis and community direction.

In particular, tree forms reminiscent of Early California should be used to reinforce the landscape heritage of the project, such as the combination of citrus, palms, and eucalyptus.

As a general guideline to the landscape treatment of planting areas throughout the community, the landscape character of the above-referenced streets can be found in the following three sections.

- A. Major Arterial: The landscape concept reflects the Early California theme and should introduce it to the development through the design for the major arterials. To accomplish this goal the use of native and naturalized plants such as palms and citrus should become the common landscape element.
 - 1. The use of formal, slender, trees, such as palms, shall be required. These trees will provide a well defined and distinctive corridor, recognizable from a distance, relating well to the street.



MAJOR ARTERIAL Boldest, Most detailed landscape statement.



PRIMARY Reduced scale of major arterial treatment, basically the same.



SECONDARY Reduction in plant material density and scale.



COLLECTOR
Elimination of all but one or two major identifying elements.



STREETSCAPE
McNAUGHTON SPECIFIC PLAN

EXHIBIT 20



CITY OF COACHELLA

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2. Citrus trees should be planted in small groupings along with medium size evergreen trees mixed in, in between the palms.
 3. Flowering shrubs or some significant low shrub should be planted in small clusters surrounding the citrus and evergreen groupings. A drought-tolerant groundcover should be used for all remaining areas.
- B. Primary Entries: The primary entries into the project should be distinguished by a more intense and colorful landscape treatment.
1. Palms will be used to create an entry treatment statement.
 2. Citrus and evergreen tree groupings, which are larger (taller) than the trees at the secondary entries or street trees, will be enhanced by flowering accent trees.
 3. Flowering shrubs will be planted in large areas surrounding the tree clusters with accents of annual color planted in the foreground.
 4. Groundcover will be planted in remaining areas.
- C. Primary/Secondary Arterials: The landscape treatment designated, for these roads, has been chosen to reinforce the theme of the major arterial and identify the project as a place. The primary/secondary arterials form a loop through the project passing through commercial, residential, and recreational land uses. These land uses will be distinguished also through the landscape design of the streetscape.
1. Palms, citrus, and evergreen trees should be used as the primary landscaping features.
 2. Palms should be evenly spaced and of a height significant to the area.
 3. Citrus and evergreen trees should be grouped informally between the palms.
 4. A groundcover will be used for remaining areas.
 5. The landscape design should help announce arrival at important activity zones, and serve to identify destinations within the project. This task should be accomplished through more intense landscaping applications and the addition of flowing accent

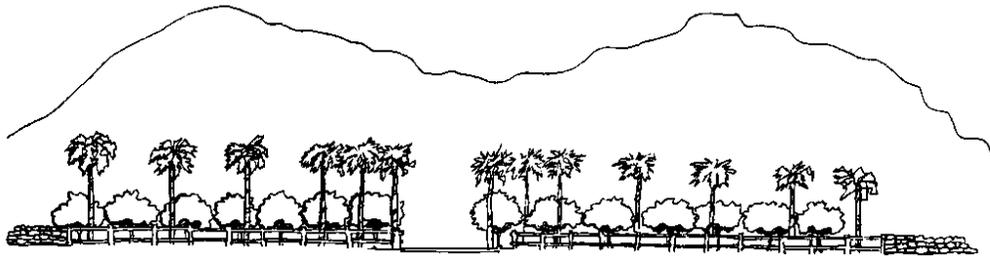
trees and annual color. Landscape details along street, including fencing, monumentation, signage, and vegetation accents should change with subtle variations to announce and identify the change in land use area.

D. Collector: The landscape theme for the collector streetscapes should also reflect the Early California style but will be significantly less formal than the arterial streetscapes. The collector streets are internal streets traveling through the residential areas and will reflect the casual environment of these areas of the development.

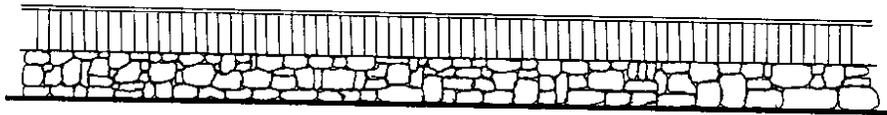
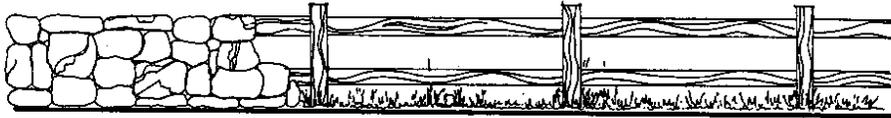
1. In order to achieve this goal informal plantings, clusters rather than equally spaced trees will be used. The evergreens previously used in the arterial streetscapes should be planted in small clusters along with a compatible ground cover.
2. Trees should have a canopy form to provide shade and scale for neighborhood pedestrians.
3. Tree plantings should be used to screen undesirable views of garages and trash areas.

E. Walls/Fences: The following guidelines shall be implemented in conjunction with the design of fences and walls in the McNaughton Development. Refer to Exhibit 21.

1. Fences and walls should be used in conjunction with plant materials and other landscape techniques, to reinforce the Early California character of the McNaughton Development.
2. Fences and walls should be used in a consistent manner throughout the community.
3. As a significant thematic element, the details and materials used in walls and fences should be of a high quality and customized to the particular function. (For example, some will be used as screens & others project definition).
4. Long linear walls are discouraged and should be broken up by appropriate landscape materials.



Fences and walls should incorporate stone and wood in order to coordinate with the entry/signage treatment as well as establishing the developments theme.



FENCES/WALLS
McNAUGHTON SPECIFIC PLAN

EXHIBIT 21



CITY OF COACHELLA

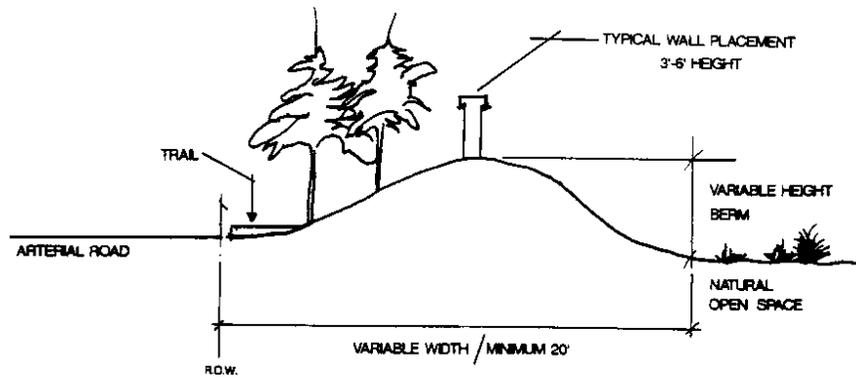
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5. The material, style, and height of walls should provide an element of continuity throughout the McNaughton Development to ensure visual consistency.
 6. Fences adjacent to open space areas shall be of an open construction to allow continuation of views.
 7. Perimeter walls should generally not exceed six (6) feet in height, unless necessary for privacy screening or sound attenuation.
 8. Construction materials and colors for walls and fences should be consistent with the projects' architecture.

4.4.4 PROJECT BOUNDARIES

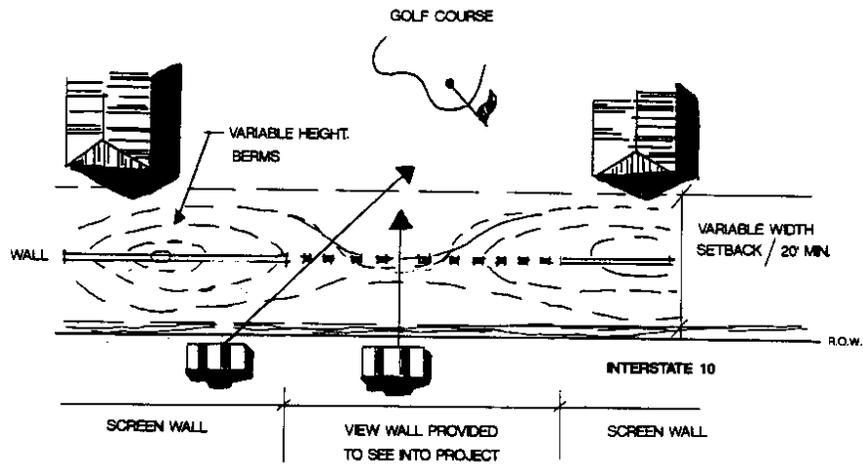
The Specific Plan creates development perimeter boundaries with adjacent natural open space and with Interstate 10. Edge treatments for these conditions utilizing landscape, berms and walls are depicted in Exhibit 22.

- A. Arterial Road/Open Space Edge: The typical treatment where this condition occurs will include a variable height berm with wall within a landscaped setback from the project/open space boundary and arterial roadway, and may include interior pedestrian or equestrian trails.
- B. Interstate 10/Project Edge: Two types of edges are created along Interstate 10. The first will involve residential neighborhoods or golf course in an at grade, or near at-grade condition with I-10. The second condition will involve single family residential lots at the top of cut slopes along I-10 at higher elevations of the project.
 1. At-Grade Condition. This is illustrated in plan view in Exhibit 22. The typical treatment will involve a landscaped berm with wall separating the Interstate 10 right of way from the interior residential project. The berm height may be reduced in combination with an open wall treatment at intervals to provide views opportunities into the project area and view to the Santa Rosa Mountain to the west. Landscape materials will be provided within the berm area to provide an appropriate transition in plant material type and density between the natural desert condition and project landscape elements.

ARTERIAL/ OPEN SPACE EDGE



INTERSTATE/PROJECT EDGE TREATMENT



PROJECT BOUNDARIES

McNAUGHTON SPECIFIC PLAN

EXHIBIT 22



CITY OF COACHELLA



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2. Top of Slope Condition. Residential lots will be separated from I-10 by residential walls at rear lot lines or the top of slope. This will also be a typical edge treatment where residential uses adjoin natural open space along the eastern project boundary.

4.4.5. RESIDENTIAL GUIDELINES

All streets and/or driveway scenes should include landscaping features appropriate to each projects' environment and pedestrian scale.

- A. Low/Medium High Density: Landscape elements including one or a combination of trees, shrubs, and vines should be used to screen undesirable views of trash enclosures, garages, and parking areas. The scale of buildings should relate to the pedestrian to accomplish this:
 1. Vertical tree plantings descending in size should be grouped at entries ending up with threes relating to human scale closest to activity areas such as sidewalks and plazas.
 2. Smaller open space areas should be combined where possible to generate larger, more usable spaces.
 3. Landscaped berms will be used where feasible to reduce visual massing of structures as viewed from below or other neighborhoods.
 4. Landscape materials will be installed to mitigate solar heat and reflection impacts from paved surfaces.
- B. High Density: Open spaces shall, where possible be large, usable areas for the active/passive enjoyment of residents.
 1. Landscaping will be installed to mitigate solar heat and reflection impacts from paved surfaces.
 2. Landscape elements including one or a combination of trees, shrubs, and vines should be used to screen undesirable views of trash enclosures, garages, and parking areas.
 3. A variety of trees in varying heights will be planted to reduce the visual impact of taller structures to be closer to a human scale.

-
2. Landscape elements including one or a combination of trees, shrubs, and vines should be used to screen undesirable views of trash enclosures, garages, and parking areas.
 3. A variety of trees in varying heights will be planted to reduce the visual impact of taller structures to be closer to a human scale.
 4. Taller trees should be planted closer to the structure tapering down to the smaller trees located furthest from the structure.

4.4.6. COMMERCIAL LANDSCAPE GUIDELINES

The commercial landscaping designs will need to retain a certain continuity and quality with the rest of the development. However, the individuality of this area is encouraged. To accomplish this goal some of the elements common to the project theme should be incorporated with variations of other elements.

- A. The landscape should reinforce and identify the skeletal elements of circulation, parking, site layout, and entries.
- B. Landscape should be used to create a transitional space between land uses and to screen unsightly views.
- C. Landscaping in the commercial areas will be more intense, interesting, varying, exciting, colorful and playful. These areas would be the higher maintenance areas of the development.

4.4.7. RECREATION/OPEN SPACE LANDSCAPE GUIDELINES

Landscape design in open space and recreational uses should relate to the theme and function of land use. The landscape design should facilitate the activity taking place at the resort, not hinder it.

- A. Community trails and entries should be identified through the use of a common landscape element, such as flowering accent trees, other distinctive trees, or a significant structural feature.
- B. Tree planting should be done in such a way as to not disturb existing breezes.
- C. Pedestrian courtyards, or plazas, should be landscaped to reinforce the theme of the adjacent architecture and use.

-
1. Landscaping in these areas should be used to create a visually pleasing atmosphere and provide relief from the desert weather.
 2. Edges will be created through landscaping to define the space.

4.4.8. ECOSYSTEMATIC LANDSCAPE DESIGN GUIDELINES

Ecosystematic design guidelines facilitate climate mitigation and will be incorporated as much as possible in all the areas of the developments design. General ecosystematic design guidelines for landscaping use are outlined below.

- A. Shade structure for exposed walls to provide shade in summer and sun in winter.
- B. Deciduous trees to provide summer shade and partial winter sun on east and south.
- C. Evergreen trees to provide year round shade on west.
- D. Landscape to be incorporated with free standing walls to reduce glare and radiation.
- E. Use permeable pavement wherever possible.
- F. Provide maximum shade cover for parking stalls through the use of trees and shade structures.
- G. Create half or full shade for walkways during summer.
- H. Break up paving with planting areas to reduce solar radiation in high use areas or near structures.
- I. Use of water features to promote evaporative cooling.

4.4.9. MAINTENANCE

To receive final design review approval of development plans, a precise method of long-term maintenance shall be formally proposed by the builder. Particular care shall be taken to provide for high-quality maintenance in common areas, visible locations, and high traffic conditions.

- A. The method(s) proposed by the builder will include specific financing mechanisms, and cost considerations for maintaining the high quality image desired for the McNaughton Development. Such maintenance shall include:

-
1. Watering, fertilization, mowing, edging, pruning, trimming, herbicide programming, pesticide programming, clean-up and other on-going seasonal programmed maintenance functions.
 2. Replacement of dead or diseased plant materials originally approved shall be accomplished on a routine basis.
 3. Automatic irrigation systems shall be routinely inspected, repaired and maintained in an operating condition at all times.
 4. All exterior portions of each parcel including walks, parking areas and service areas shall be kept routinely free of litter and debris.

4.4.10. IRRIGATION

All landscape areas should be fully irrigated with an automatically controlled underground irrigation system. The builder must submit Irrigation Plans prepared by a licensed Landscape Architect or certified Irrigation Design Consultant for formal design review and approval prior to installation.

A. Irrigation plans shall include:

1. Areas of separate maintenance responsibility controlled by separate control valves.
2. All lawn and shrub irrigation systems should be separate.
3. Irrigation controllers should be selected to minimize the amount and frequency of water being applied to the soil.
4. Because waterings should be deep and infrequent, irrigation controllers should be capable of short multiple applications required for the "soak" allowing the soil to dry out between soakings.
5. The use of water conserving systems, such as drip irrigation for shrubs and tree planting, is encouraged.
6. To minimize negative visual intrusion, all automatic valves should be installed in valve boxes with the pop-up variety of head used whenever application allows.

-
7. All backflow control devices and controllers should be placed in shrub areas and screened so that they are not visible.

4.4.11 PLANT MATERIALS

Typical plant materials to be encouraged within the Specific Plan area are identified on the following list (Table 4). The list is not intended to be exclusive, but rather a guide to the landscape character of the community. Alternative materials which meet the intent of the landscape guidelines may be proposed in detailed plans. An illustrative of typical landscaping for the McNaughton Development is provided in Exhibit 23.

TABLE 4

MCNAUGHTON DEVELOPMENT PLANT PALETTE

<u>Trees</u>	<u>Shrubs</u>	<u>Groundcover</u>
Bottle Tree - Brachychiton	Ferocactus Species	Gazania
Mexican Blue Fan Palm - Brahea	Cassia Species	Trailing Lantana
Blue Palo Verde - Cercidium	Desert Broom	Dwarf Rosemary
Jacaranda	Bougainvilla Species	Cotoneaster Species
Crape Myrtle - Lagerstroemta	Bird of Paradise - Strelitzia	Turf
Olive - Olea	Dwarf Poinciana	
Chilean Mesquite - Prosopis	Fairy Duster	
Cork Oak - Quercus	Feathery Cassia	
African Sumac	Podonaea Viscose	
California Pepper - Schinus	Lantana	
California Fan Palm - Washington	Texas Ranger - Leucophyllum	
Mexican Fan Palm - Washington	Thevetia	
Citrus Species	Purple Fountain Grass	
Rhuslancea - African Suma	Thevetia	
Parkinsonia Aculeata - Mexican Palo Verde	Ocotillo - Gouquieria Splendens	
Populus Species	Agave Species	
	Aloe Species	
	Opuntia Species	

TABLE 4 (Continued)

MCNAUGHTON DEVELOPMENT PLANT PALETTE

Populus Nigra Italica

Phoenix Dactylifera

Eucalyptus Citriodora

Albizia Julibrissin

Callistemon Viminalis

Yucca Gloriosa

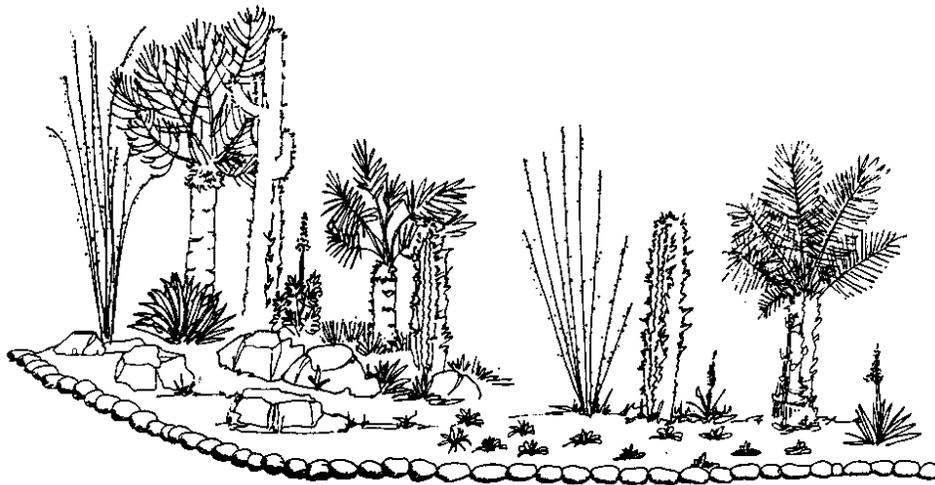
Yucca Brevifolia

Vines

Bougainvillia Species

Gelsemium

Pyracantha



Landscaping plant material should reflect the typical characteristics of the desert environment.

LANDSCAPING
McNAUGHTON SPECIFIC PLAN

EXHIBIT 23

 THE
KEITH
COMPANIES

CITY OF COACHELLA

4.5 SIGNAGE

Signage and its integration into the overall project is an unavoidable and critical element in the design of any well-planned community. Use of certain consistent forms, materials, and colors establish continuity throughout.

All signage within the McNaughton Development should conform to the architectural and landscape architectural styles established in this manual. Size and configuration are determined by the function of the sign and according to the hierarchy of information, direction and organization.

- A. Materials and Colors: Signs will be consistent with the materials and colors established within the architectural guidelines section of this manual.
 - 1. Appropriate materials include plaster, wood, clay tile, masonry, wrought iron and ceramic tile. While plastic, back-lighted signs are not forbidden within the project, there are situations where they may not be acceptable. When allowed by the Planning Commission, they must be designed to utilize and emulate the style, materials and colors typical of the project. Front-lighted signs using the above-listed materials are preferable.
 - 2. Base colors for plaster elements are primarily neutral—usually whites, off-whites, cream and occasionally light pastel tints. Wood should have a light brown stain or be kept natural for a weathered look. Acceptable accent and lettering colors are: yellow ocher, Tuscan red, blue, deep blue-green, yellow and black.
- B. Entry signage will follow this hierarchy: Beyond major, minor, and neighborhood entries, private entry, directional, and facility/identification signs should be sized to relate the information in the hierarchy of its importance.
- C. Temporary Signs: Temporary signs (e.g. for sale, for rent, future facility, construction signs) will necessarily be constructed to last only their useful life. They must, nonetheless, be designed and applied to be consistent with the over-all permanent signage program. Their general appearance should be maintained while they are in use, and they should be removed promptly when they are no longer needed.
- D. Street Signs: Street and traffic control signs will be consistent with standards which have been adopted by the City.

-
- E. Public Area, Village Core, Commercial Signs: Signs in these areas shall be sized and located to perform their necessary function but to be sensitively integrated with the other elements of the site.
1. When located on buildings, they will be integrated as a part of the structure utilizing the architectural elements appropriate to the building style.
 2. Signage should be incorporated into building accents such as awnings and doorways or painted directly on the stucco using the appropriate accent colors listed above.

5.0 IMPLEMENTATION

5.1 GENERAL PROVISIONS

5.1.1 TRANSFERS OF DWELLING UNITS

Transfers of dwelling units between planning areas within the resort shall be permitted pursuant to the City Zoning Ordinance, Article 058.02(A), and shall be subject to review of the Planning Commission. The following findings shall be made in administrating such transfers:

- A. The total number of dwelling units within the resort community does not exceed 8,000.
- B. The transfer proposal is consistent with the criteria specified in this Specific Plan.
- C. There are no material impacts to the project resort circulation system of a nature which would necessitate amendments to the roadway cross-sections.
- D. There are no material impacts to surrounding planning areas, beyond those previously identified as part of this Specific Plan.
- E. The transfer in question complies with all other provisions of this Specific Plan, except as noted above, and the resultant densities are consistent with the overall character of development envisioned as part of this Specific Plan.

5.1.2 ADMINISTRATIVE MODIFICATIONS TO THE SPECIFIC PLAN

Certain modifications to the Specific Plan text or map are specially deemed not to require formal amendments (i.e., through public hearing), to the Specific Plan as originally approved. The Planning Commission has the authority to approve these modifications as presented, subject to approval of tentative maps or specific designs, public review and consequent Planning Commission approval. The following actions are specifically categorized as administrative modifications:

- A. Expansions of the geographic area covered by a given land use classification, up to fifteen percent (15%) in area, as long as the overall dwelling unit yield or total acreage for non-residential use classifications within the specific plan area remains unchanged.

-
- B. Realignment and modifications of streets servicing the project resort that result from subsequently identified engineering considerations.

Determinations of the Planning Commission may be appealed to the City Council.

5.2 REVIEW PROCEDURES

The Specific Plan shall be implemented through the large lot tentative tract map and the tentative tract map review process.

5.2.1 LARGE LOT TENTATIVE TRACT MAP

A large lot tentative tract map is intended for parcelization and financing purposes, addresses only large parcels and is not intended for construction purposes. Conditions of approval for this Specific Plan, or any other plan or program, shall not apply to this map. The large lot tentative tract map submittal shall meet all requirements stipulated by the Subdivision Map Act. It may be filed prior to, concurrent with or subsequent to a Specific Plan or other tentative tract maps (those for construction purposes).

5.2.2 TENTATIVE TRACT MAP

A Tentative Tract Map or parcel map, as applicable, shall be filed for all projects within the project resort, subject to the provisions as stipulated in the Coachella Subdivision Ordinance. After map approval, the final map may be recorded and building permits may be issued. This process may include the parcelization of a lot or lots for future use as a Planned Unit Development, condominium, apartment or cluster development site. Submittal requirements shall be as specified in the Subdivision Map Act or the City's subdivision Code.

5.3 SPECIFIC PLAN AMENDMENTS

All Specific Plan changes which are not of the nature listed above are deemed to require an amendment to the Specific Plan. An amendment to the Specific Plan may be initiated by the property owner's application or at the direction of the City Council, subject to Planning Commission review. All amendments shall be consistent with the requirements of California Government Code Sections 65500 et. seq. and shall be subject to the public notice and other requirements of the Government Code.

6.0 CONFORMANCE WITH GENERAL PLAN

This section describes the relationship of the proposed Specific Plan Development Plan to the General Plan of the City of Coachella. The project site was annexed to the City of Coachella in March 1987 with an agricultural designation.

The project has received a General Plan Amendment of the Land Use Map to 'Specific Plan Area' and seeks a Zone Change to Specific Plan (SP) Zoning. The project also seeks to modify the Circulation Element pursuant to the roadway classifications described in Section 2.5 of this report.

6.1 LAND USE

The development plan represents a departure from the Land Use Element insofar as a significant sector of the community previously designated Agricultural is converted to resort use. The land use map identifies resort use areas along the westerly margins of the community, consistent with historical development patterns, placing such developments closer to the base of the Santa Rosa Mountains within the Coachella Valley. The project proposes a major resort at the easternmost limits of the community. The project is proposed at this location to take advantage of the natural amenities and opportunities associated with this site (e.g. access via I-10, views of the Valley, etc.).

Under the current General Plan, Agricultural designated areas include some 13,740 acres or 40% of the total City Statistical Area. Resort use areas encompass some 3,045 acres on the plan, or 9% of the Statistical Area. The 1600 acre project site is essentially natural open space which has never been utilized for agricultural purposes. Its redesignation as resort use represents a 3.5% increase in designated resort lands within the City. This shift does not adversely alter the desired balance of land uses sought for the community and promoted in the General Plan.

6.1.1 GOALS, POLICIES AND IMPLEMENTING ACTIONS

Aspects of the Specific Plan Development Plan which promote City land use objectives are outlined in this section. The General Plan text is cited in Specific page numbers referenced below.¹

¹ General Plan Update, City of Coachella (January 1987).

The development plan will provide a broad range of commercial opportunities which meet or exceed minimum allocations per 1,000 residents specified in the General Plan (p. 201).

The project will provide a variety of development and attendant amenities to attract all economic levels of residents. The City's economic base is further augmented to capitalize on recreation and tourist aspects (p. 202).

The project will undoubtedly contribute to the local economy through the expansion and diversification of employment opportunities (p. 203).

The Specific Plan and subsequent detailed planning will utilize master plans for the adequate provision of public facilities and services. Assessment district financing, such as a Community Facility District (CFD), will be pursued for major public facilities (pp. 203, 204).

The project will pursue a reasonable and realistic phasing of development, consistent with market realities and the availability of facilities and services. (p. 204.)

The master plan concept ensures that appropriate design features will be utilized to improve the relationship between commercial and residential uses (p. 204). Effective use of water features, greenbelts, and landscape buffers are anticipated in the plan.

The project location does not facilitate a contiguous urban development pattern. However, adjacent agricultural lands can remain in production as an integral part of the agricultural sector of the community. The project site, itself, has not been utilized for agricultural production (p. 204).

The project proposes a Resort Residential use at a gross project site density of approximately 5 dwelling units per acre. As evidenced in the development plan, a wide variety of uses oriented to the tourist visitor, second or vacation homeowner, and permanent resident will be provided (p. 210).

Consistent with General Plan objectives, the project will be considered under the Specific Plan process.

6.2 CIRCULATION

The Specific Plan Development Plan will implement many of the circulation objectives of the General Plan through a master planned circulation system integrating vehicular, bikeway, riding trail and pedestrian path opportunities (p. 301).

As a relatively self-contained resort community, the project will readily accommodate alternative modes of transportation.

Traffic needs generated by anticipated growth will be accommodated by a major internal loop collector road system, and extensions of arterial roads to existing facilities (i.e., I-10, 50th and 52th Avenues).

It is anticipated that Specific Plan commercial and employment generating uses will be adequately linked to other City and district level centers. (p. 302).

In addition to land dedications for roadway right-of-way, the projects will provide all onsite circulation features, and contribute proportionately to development of a number of offsite circulation features (i.e., I-10 interchange, 50th and 52nd Avenue bridges and extensions).

6.3 HOUSING

The Specific Plan Development Plan envisions a range of housing densities, types and products to attract residents in a range of income categories (p. 401).

Affordable housing opportunities to meet General Plan goals will be available within the multi-family, townhome and condominium categories. (p. 402).

The project will include ample opportunities for higher income housing through larger lot hillside residential and golf course frontage homesites.

With a significant portion of the plan concept oriented toward the second home and retirement market, adequate provisions for seniors and handicapped persons will be provided.

The Specific Plan approach for this project lends itself toward innovative housing design solutions to the provision of affordable housing (p. 403). Similarly, the Specific Plan approach facilitates use of energy conserving design practices in the residential development program.

As a resort community which must attract tourist visitors and second home buyers, the project cannot realistically meet all of the special needs household objectives indicated in the General Plan (p. 411). By producing housing at a range of densities and prices, the project may, however, create opportunities for a portion of its housing stock to be within the means of the resort service sector employee population traditionally comprised of lower-to-moderate income groups.

More importantly, the project will generate new jobs and income growth within these groups, which will indirectly promote better housing conditions for the residents of Coachella.

The project has the potential to enhance and accelerate the City's 5-year housing program objectives.

6.4 COMMUNITY DESIGN

The project resort affords a unique opportunity to establish an entry point to identify the City of Coachella at its easternmost limits near Interstate 10. The project will incorporate a hierarchy of residential project scales from resort district to neighborhood and project design/theme elements (p. 501).

Design continuity and a positive image of the City, the City will be provided by extending common streetscape elements to arterials roads which link the resort with the rest of the Coachella Community.

Resort architectural theme elements will build upon the early California Ranch theme, which complements the "Pueblo Viejo" theme and character identifiable with the City (p. 502). Various design elements including street landscaping entries, architecture and walls will also be utilized to a distinct image for resort village.

The City's Community Design Element (p.503), identifies proposed scenic highways and corridors, such as I-10 and Avenue 50. These will receive special design consideration

Interstate 10 will be preserved and enhanced wherever possible along this frontage. The project will increase public accessibility and enjoyment of the view amenity inherent with higher elevations of the project site (p. 504).

In summary, the resort project at the easterly City limits provides a unique opportunity to develop a visually distinctive district and residential community. This district image will respond to the broader goal of a visually attractive and imageable form for the City of Coachella (p. 507).

6.5 OPEN SPACE AND CONSERVATION

The Specific Plan Development Plan incorporates significant open space and recreational opportunities within the context of a quality designed environment. The proposed land use pattern takes optimum resource advantage of the existing views of the mountain areas and desert floor to the west and north (p. 601).

Beyond view potentials, and the utilization of the land to convey storm runoff to the canal system, the project site has few natural resources of particular significance nevertheless, a comprehensive Environmental Impact Report will be prepared to address the natural resources values of the site, and to identify appropriate measures for their conservation and/or utilization.

6.6 NOISE

The only significant existing source of noise at or near the project site is traffic noise emanating from Interstate 10. The proposed resort will result in a significant change from a rural or wilderness ambient noise environment to an urbanized, "built" ambient noise environment. This change, in and of itself does not conform or conflict with the General Plan. The Specific Plan Development Plan conveys a land use pattern which is conducive to the buffering or protection of future noise sensitive/uses (e.g. parks, schools, residential) from traffic noise sources through appropriate design techniques (e.g. berms, walls, setbacks).

Conformance with the City Noise Ordinance, and the goals, policies and objectives of the Noise Element of the General Plan will be demonstrated through subsequent detailed plan submittals and design review.

6.7 SAFETY ELEMENT

The Specific Plan encompasses lands which are currently subject to a number of safety concerns. These concerns include 1) a potentially active fault trace in lower reaches of the site (i.e., Mission Branch of the San Andreas), 2) a related potential for high ground shaking during seismic events, and 3) soils potentially susceptible to liquefaction (pending further studies). However, the project site is not unlike much of the remainder of the City of Coachella with respect to potential exposure to seismic events and related hazards.

The Specific Plan will be accompanied by a comprehensive Environmental Impact Report assessing any hazards associated with site development. Consistent with the General Plan, the project will be required to submit a number of special studies to assure reduction of any hazards to acceptable levels of risk. Studies and requirements of the Development Plan will include:

- o Engineering geologic investigations;
- o Soils/Geologic Assessment Study;
- o Master Plan of Drainage;
- o All construction in conformance with the latest Uniform Building Code requirements for seismic considerations in the design of structures.

In order for development to proceed consistent with the Specific Plan Development Plan, adequate assurances must be provided through the EIR and geologic assessments that potential hazards are reduced to acceptable levels of risk.
