

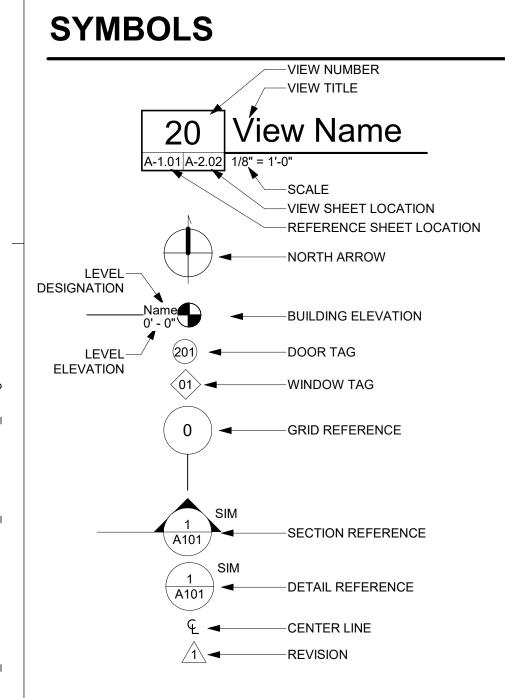
FRONT ELEVATION- MISSION - FRONT FACING GARAGE

PROTOTYPE ACCESSORY DWELLING UNIT PLAN 6: 2 CAR GARAGE CONVERSION

CITY OF COACHELLA, CA STREET ADDRESS (TO BE PROVIDED BY OWNER)

ABBREVIATIONS

ABV	ABOVE	FD	FLOOR DRAIN	PLYWD	PLYWOOD
ACOUS	ACOUSTICAL	FE	FIRE EXTINGUISHER	PR	PAIR
ACT	ACOUSTICAL CEILING	FEC	FIRE EXTINGUISHER	PT	PAINT
A.D.	TILE	F0	PANEL	PTD	PAINTED
AD	AREA DRAIN	FG	FINISH GROUP	R	RISER
ADJ	ADJUSTABLE	FH	FIRE HYDRANT	RAD	RADIUS
AFF	ABOVE FINISH FLOOR	FHC	FIRE HOSE CABINET FINISH	RCP	REFLECTED CEILING
ALT	ALTERNATE	FIN		DD	PLAN PROOF PRAIN
ALUM	ALUMINUM APPROXIMATE	FLR FLUOR	FLOOR FLOURESCENT	RD RE	ROOF DRAIN REFER
APPROX ARCH	ARCHITECT	FT	FOOT OR FEET	REF	REFRIGERATOR
B.O.	BOTTOM OF	FUR	FURRING	REINF	REINFORCED
BALC	BALCONY	GAL	GALLON	REQD	REQUIRED
BD	BOARD	GALV	GALVANIZED	RESIL	RESILIENT
BET	BETWEEN	GB	GRAB BAR	RM	ROOM
BLDG	BUILDNG	GC	GENERAL	RO	ROUGH OPENING
BLKG	BLOCKING	00	CONTRACTOR	RTU	ROOF TOP UNIT (MECH
BLW	BELOW	GL	GLASS	S	SOUTH
BM	BEAM	GND	GROUND	SAFB	SOUND ATTENUATION
ВОТ	BOTTOM	GWB	GYPSUM BOARD	-	FIBER BATT
BRKT	BRACKET	GYP	GYPSUM	SC	SCUPPER
3ULKHD	BULKHEAD	H.W.H.	HOT WATER HEATER	SCHED	SCHEDULE
BUR	BUILT UP ROOF	HDWD	HARDWOOD	SEAL	SEALANT
C.G.	CORNER GUARD	HDWR	HARDWARE	SECT	SECTION
CAB	CABINET	HM	HOLLOW METAL	SF	SQUARE FOOT
CALK	CAULKING	HORIZ	HORIZONTAL	SHT	SHEET
CEM	CEMENT	HR	HOUR	SIM	SIMILAR
CER	CERAMIC	HT	HEIGHT	SPEC	SPECIFICATION
CJ	CONTROL JOINT	ID	INNER DIAMETER	SQ	SQURE
CLG	CEILING	INCAN	INCANDESCENT	SS	STAINLESS STEEL
CLOS	CLOSET	INSUL	INSULATION	STD	STANDARD
CLR	CLEAR	INT	INTERIOR	STL	STEEL
CO	CASED OPENING	JAN	JANITOR	STOR	STORAGE
COL	COLUMN	JST	JOIST		STRUCTURAL
CONC	CONCRETE	JT	JOINT	SUSP	SUPSPENDED
CONT	CONTINUOUS	LAM	LAMINATE	SYM	SYMMMETRICAL
CPT	CARPET	LAV	LAVATORY	T	TREAD
CT	CERAMIC TILE	LB(S)	POUNDS LANDING	T&G TEL	TONGUE & GROOVE
CTR	CENTER	LDG			TELEPHONE
OBL	DOUBLE	LT MAX	LIGHT MAXIMUM	TER THK	TERRAZZO THICK
DET	DETAIL	MECH	MECHANICAL	THR	THRESHOLD
DIA	DIAMETER	MEMB	MEMBRANE	TO	TOP OF
DIM	DIMENSION	MFR	MANUFACTURER	TYP	TYPICAL
ON OD	DOWN	MIN	MINIMUM	UC	UNDERCUT
DR DS	DOOR DOWN SPOUT	MISC	MISCELLANEOUS	UNFIN	UNFINISHED
DS DW	DOWN SPOUT DISHWASHER	MO	MASONRY OPENING	UNO	ULNESS NOTED
DWG	DRAWING	MTD	MOUNTED	0.10	OTHERWISE
E E	EAST	MTL	METAL	UON	UNLESS OTHERWISE
EA	EACH	N	NORTH		NOTED
EIFS	EXTERIOR INSULATION	NIC	NOT IN CONTRACT	UTIL	UTILITY
LII O	& FINISH SYSTEM	NO	NUMBER	VCT	VINYL COMPOSITION
ELEC	ELECTRIC	NOM	NOMINAL		TILE
ELEV	ELEVATION	NTS	NOT TO SCALE	VERT	VERTICAL
EMER	EMERGENCY	O.P.	OVERFLOW PIPE	VIF	VERIFY IN FIELD
ENCL	ENCLOSURE	OA	OVERALL	VTR	VENT TERMINATION PIPE
EOS	EDGE OF SLAB	OC	ON CENTER	VWC	VINYL WALL COVERING
ΞQ	EQUAL	OD	OUTSIDE DIAMETER	W	WEST
EQUIP	EQUIPMENT	OFF	OFFICE	W/	WITH
ETR	EXISTING TO REMAIN	ОН	OPPOSITE HAND	W/O	WITHOUT
EW	EACH WAY	OPG	OPENING	WC	WATERCLOSET
EXP. JT.	EXPANSION JOINT	OPP	OPPOSITE	WIN	WINDOW
EXST	EXISTING	PART	PARTITION	WP	WATERPROOF
F.O.	FACE OF	PERM	PERIMETER	WS	WETSTACK
A	FIRE ALARM	PG	PAINT GRADE	WSCT	WAINSCOT
FAP	FIRE ANNUNCIATOR	PLAM	PLASTIC LAMINATE	WT	WEIGHT
	PANEL	PLAS	PLASTER	4 V I	



GENERAL NOTES

1. APPLICABLE CODES AND STANDARDS:

1.2.	2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
1.3.	2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS.
1.4.	2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
1.5.	2022 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS.
1.6.	2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
1.7	2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS.
1.8	2022 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS
1.9	CURRENT CITY OF COACHELLA, CA MUNICIPAL CODE.
2.	ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PROCEEDING AT HIS/HER OWN RISK.
4.	DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
5.	IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE ALL GRADING

1.1. 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.

- TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL
- THE FOLLOWING ITEMS SHODRAWINGS ARE OWNER PROVIDED, OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER.
- 11.2 ICE MACHINE 11.3 VENDING MACHINE
- 11.4 REFRIGERATOR 11.5 MICROWAVE

BEFORE EXCAVATION BEGINS.

- 12. OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER. 13. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION
- 14. CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS. 15. A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO INSURE THAT THE
- PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT. OWNER TO PROVIDE LOCATION OF THE NEAREST FIRE HYDRANT. FIRE
- HYDRANT LOCAION SHALL MEET THE REQUIREMENTS IN THE CFC. 17. IF THE MAIN RESIDENCE HAS TWO EXISTING WATER CLOSETS, WITH THE INCLUSION OF THE ADDITIONAL WATER CLOSET IN THE ADU, THE EXISTING SEWER LATERAL SIZE IS TO BE VARIFIED TO BE 4 INCHES PER CPC TABLE 703.2.

SPECIAL INSTRUCTIONS

OWNER SHALL SUPPLY INFORMATIN ON THE FOUNDATION TYPE OF THE EXISTING BUILDING. IF THE FOUNDATION TYPE OF THE EXISTING BUILDING MATCHES THE PROPOSED FOUNDATION OF AN ADU, A SOILS REPORT WILL NOT BE REQUIRED. HOWEVER, IF A DIFFERENT FOUNDATION TYPE IS PROPOSED A SOILS REPORT WILL BE REQUIRED.

DEFERRED SUBMITTALS

- 1. ROOF TRUSS CALCULATIONS
- 2. FIRE SPRINKLER (YES / NO) (SEPARATE PLAN CHECK / PERMIT)
- 3. SOLAR PV (-KW) (SEPARATE PLAN CHECK / PERMIT)

PROJECT DIRECTORY

ADDRESS:		
PHONE:	FAX:	
CONTACT:		
EMAIL:		
ARCHITECT (RRM DESIGN	(MODIFICATION TO PRO	TOTYPE):
ADDRESS:		
	RA ST, SUTITE 102	
SAN LUIS OBI	,	
	3-1794 FAX :	
LANDSCAPE	ARCHITECT (IF APPLICA	ABLE):
ADDRESS: PHONE:	ARCHITECT (IF APPLICATION OF THE PROPERTY OF T	
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AGENCIES AND UTILITIES

COMMUNITY DEVELOPMENT DEPARTMENT

CITY OF COACHELLA PLANNING 53990 ENTERPRISE WAY

COACHELLA, CA 92236 **PHONE:** 760-398-3502 **FAX:**

WATER SERVICE:

ADDRESS:

ADDRESS:		ELECTRICAL	SERVICE:
PHONE:	FAX:	ADDRESS:	
GAS SERVICE	:	PHONE:	FAX:
ADDRESS:		SEWER SER	VICE:
PHONE:	FAX:	ADDRESS:	
TELEPHONE S	SERVICE:	PHONE:	FAX:
ADDRESS:		GARBAGE S	ERVICE:
PHONE:	FAX:	ADDRESS:	
		PHONE:	FAX:

PROTOTYPE PLANS PREPARED BY

ARCHITECT (PROTOTYPE): RRM DESIGN GROUP

ADDRESS: 3765 S. HIGUERA STREET, SUITE 102 SAN LUIS OBISPO, CA 93401 **PHONE**: (805) 543-1794 **FAX**: (805) 543-4609 **CONTACT:** SCOTT MARTIN EMAIL: SAMARTIN@RRMDESIGN.COM

STRUCTURAL ENGINEER: RRM DESIGN GROUP ADDRESS:

3675 S. HIGUERA STREET, SUITE 102 SAN LUIS OBISPO, CA 93401 **PHONE**: (805) 543-1794 **FAX**: (805) 543-4609 **CONTACT:** JESSICA MEADOWS EMAIL: JMMEADOWS@RRMDESIGN.COM

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AD-906	ARCHITECTURAL DETAILS - SPANISH COLONIAL
Grand total: 16	

PROJECT SCOPE

CONVERSION OF 2-CAR GARAGE INTO 1 BEDROOM / 1 BATH ADU.

SITE INFORMATION

OWNER TO PROVIDE THE FOLLOWING INFORMATION:	
LEGAL DESCRIPTION:	_
APN #:	_

ZONING INFORMATION

CITY OF COACHELLA TO PROVIDE THE FOLLOWING INFORMATION:
ZONING:
OVERLAY:
ALLOWABLE BUILDING HEIGHT:
LOT SIZE:
EXISTING BLDG SPRINKLERED: IF YES, PROPOSED ADU MUST ALSO BE SPRINKLERED.
HABITABLE SQUARE FOOTAGE EXISTING HABITABLE SQUARE FOOTAGE: PROPOSED HABITABLE SQUARE FOOTAGE:
FAR (FLOOR AREA LIMIT) EXISTING FAL: MAX ALLOWABLE FAR: PROPOSED FAR:
LOT COVERAGE INCLUDING ALL AREAS UNDER SOLID ROOF, INCLUDING EAVES. EXISTING LOT COVERAGE: ALLOWABLE LOT COVERAGE: PROPOSED LOT COVERAGE:
LOT SLOPE:
SETBACKS: FRONT: FREAR:
PARKING REQ EXISTING COVERED SPACES: EXISTING UNCOVERED SPACES: REQUIRED PARKING: COVERED: UNCOVERED: PROPOSED TOTAL SPACES: COVERED:

ADU BUILDING INFORMATION

CITY OF COACHELLA TO PROVIDE THE FOLLOWING INFORMATION:

OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: **CONDITINED AREA:**

UNCOVERED:

PLAN 6-EXISTING FOOTPRINT 672 SF OF GARAGE, AS SHOWN IN VIEW 1/A8-101

PROJECT CHECKLIST

*FOR PLANNING STAFF ONLY INITIAL WHEN SECTION HAS BEEN REVIEWED. STAFF INITIALS

EXTERIOR WALL MATERIAL

NEW INFILL SIDING SHALL MATCH EXISTING PRINCIPAL DWELLING

WINDOW MATERIAL

COLOR AND STYLE TO MATCH EXISTING HOME

☐ FIBERGLASS

☐ WOOD

□ ALUMINUM CLAD WOOD

ROOF MATERIAL

COLOR AND STYLE TO MATCH EXISTING HOME

☐ COMPOSITION SHINGLES

☐ STANDING SEAM METAL ROOF

WASTE WATER

☐ SEWER

ONSITE PARKING REQUIRED

■ NONE

☐ THE ADU IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT.

☐ THE ADU IS LOCATED WITHIN A ARCHITECTURALLY AND HISTORICALLY SIGNIFICANT STRUCTURE.

☐ OFF STREET PARKING PERMITS ARE REQUIRED BUT NOT OFFERED TO THE OCCUPANT OF THE ADU.

WHEN THERE IS A CAR SHARE VEHICLE LOCATED WITHIN ONE BLOCK OF THE ADU.

☐ ONE PARKING SPACE

VERY HIGH FIRE SEVERITY ZONE

IF THE PROPERTY THAT WILL CONTAIN THE ADU IS IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SEE NOTES BELOW:

1. AN ADU IN THE VERY HIGH FIRE SEVERITY ZONE SHALL COMPLY WITH CHAPTER 7A OF THE CURRENT CALIFORNIA BUILDING CODE. 2. STRUCTURES IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL

ZONES: THE APPLICANT SHALL PROVIDE & MAINTAIN FIRE/FUEL BREAKS TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. FIRE/FUEL BREAKS SHALL BE SHOWN ON THE GRADING, MAP, AND BUILDING PLANS.

USE FIRE RATED ASSEMBLY ALTERNATIVE AS SHOWN IN ROOF FRAMING DETAILS AS REFERENCED ON PLANS.

. USE RATED WALL ASSEMBLIES (34/AD-902, 24/AD-10\902) THE INTENSITY OF FUELS MANAGEMENT MAY VARY WITHIN THE 100-FOOT PERIMETER OF THE STRUCTURE, WITH MORE INTENSE FUEL REDUCTIONS BEING USED BETWEEN 5 AND 30 FEET AROUND THE STRUCTURE. AND AN EMBER-RESISTANT ZONE BEING REQUIRED WITHIN 5 FEET OF THE STRUCTURE ACCORDING TO GOVERNMENT CODE 51182. THE EMBER RESISTANT ZONE FOR THE ADU SHALL BE SEPARATE FROM THE 5-FOOT EMBER RESISTANCE ZONE OF THE EXISTING STRUCTURE. THE DEFENSIBLE SPACE PLAN AND VEGETATION MANAGEMENT SHALL BE REVIEWED BY THE

CITY OF NEWPORT BEACH FIRE DEPARTMENT. 6. VERIFY COMPLIANCE WITH YOUR INSURANCE UNDERWRITER PRIOR TO CONSTRUCTION OF THE ADU.

FIRE SPRINKLERS

DOES THE PRIMARY RESIDNENCE HAVE NFPA 13D SPRINKLERS?

□ NO

REQUIRED AT PROPOSED ADU:

NO (NOT REQUIRED IF THE PRIMARY RESIDENCE IS UNSPRINKLERED

YES (REQUIRED IF THE PRIMARY RESIDENCE IS SPRINKLERED

FIRE SPRINKLERS NOTES

1. FIRE SPRINKLER SHOP DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO BUILDING DEPT. & APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION.

2. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY.

3. DEFERRED SUBMITTAL: OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION.

4. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR.

5. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS.

6. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION.

7. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION.

LIQUIFICATION AREA

THE PRIMARY RESIDENCE LOCATED WITHIN A DESIGNATED LIQUIFICTION ZONE?

□ NO

☐ YES

HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DON UNDER A SEPARATE PERMIT ONCE THE BUILDING PERM FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA

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DATE SHEET

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01/11/24

- a. NOT FEWER THAN ONE-LAYER WATER-RESISTIVE BARRIER SHALL BE APPLIED OVER STUDS OR SHEATHING OF ALL EXTERIOR WALLS CONTINUOUS FROM TOP OF WALS AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES WITH FLASHING. MINIMUM NO. 15 FELT COMPLYING WITH ASTM D226, TYPE 1
- b. PROVIDE (2) LAYERS OF GRADE D PAPER OR EQUAL WHEN PLASTER IS INSTALLED OVER WOOD BASED SHEATHING. (2022 CRC R703.7.3) 2. **DOMESTIC RANGE** VENTILATION DUCTS SHALL HAVE SMOOTH INTERIOR
- SURFACES. (2022 CMC 504.3) 3. **CLOTHES DRYER** MOISTURE EXHAUST DUCTS SHALL TERMINATE OUTSIDE THE BUILDING AND HAVE A BACK-DRAFT DAMPER. EXHAUST DUCT IS LIMITED TO 14'-0" W/ TWO ELBOWS. THIS SHALL BE REDUCED 2'-0" FOR EVERY ELBOW IN EXCESS OF TWO. MIN. DIA. 4", SMOOTH, METAL DUCT. (2022 CMC 504.4)
- 4. ALL MANUFACTURED EQUIPMENT SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATION AND DIMENSIONS VERIFIED WITH INSTALLATION REQUIREMENTS. ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS SHOULD BE ON SITE AND SHALL BE SEISMICALLY ANCHORED FOR INSPECTIONS.
- SHOWERS AND TUB-SHOWER COMBINATIONS: CONTROL VALVES MUST BE
- PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. (2022 CPC 417.0.) 6. WET-ROOM GLAZING. PROVIDE TEMPERED GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, BATHTUBS, SAUNAS, STEAM ROOMS, HOT TUBS & SIMILAR USES WHERE THE BOTTOM EXPOSED EDGE IS LESS THAN
- 60-INCHES ABOVE A STANDING SURFACE. (2022 CRC R308.4.5) HEATING AND AIR-CONDITIONING SYSTEM DESIGN SHALL CONFORM TO CALGREEN SEC. 4.507, ENVIRONMENTAL COMFORT.
- 8. WATER CLOSETS. a. CLEARANCES: 24" MIN. FRONT, 30" MIN COMPARTMENT WIDTH.
- b. PROVIDE A MIN 3 SF WINDOW, 1/2 OF WHICH SHALL BE OPENABLE OR AN EXHAUST FAN 50 CFM FOR INTERMITTENT OR 20 CFM FOR CONTINUOUS. DIRECT VENT TO OUTSIDE WITH BACKDRAFT DAMPER. (2022 CRC R303.3) c. NEW WATER CLOSETS AND ASSOCIATED FLUSHOMETER VALVES, IF ANY SHALL USE NO MORE THAN 1.28 GALLONS PER FLUSH AND SHALL MEET

PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN SOCIETY

- OF MECHANICAL ENGINEERS STANDARD A112.19.2. H & S CODE, SECTION 17921.3(B) 9. BATH ACCESSORIES: PROVIDE MINIMUM 1 TOILET PAPER HOLDER AND 1 TOWEL BAR PER BATHROOM. PROVIDE NECESSARY BLOCKNG FOR TOILET PAPER HOLDER AND TOWEL BARS.
- 10. ATTIC ACCESS: a. WHERE REQUIRED, PROVIDE 30" MIN. HEADROOM IN THE ATTIC SPACE
- b. BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS OPENING TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30-INCHES OR GREATER. THE VERTICAL HEIGHT SHALL BE MEASURED FROM TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS.
- c. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND SHALL BE LOCATED NOT OVER 20 FEET FROM THE EQUIPMENT. (2022 CRC R807.1
- d. IN ATTIC, PROVIDE LIGHT AND SWITCH, AND ALL NECESSARY ELECTRICAL. PROVIDE UNOBSTRUCTED PASSAGEWAY 24" WIDE OF SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT AND IT'S CONTROLS. ALSO PROVIDE UNOBSTRUCTED WORK SPACE IN FRONT OF EQUIPMENT 30" DEPTH MINIMUM. PROVIDE COMBUSTION AIR AND CONDENSATE LINE TO OUTSIDE OR AN APPROVED DRAIN FOR OPTIONAL AIR CONDITIONING.
- e. PROVIDE A 120V RECEPTACLE AND A LIGHT NEAR THE EQUIPMENT WITH LIGHT SWITCH LOCATED AT THE ATTIC ACCESS.
- 12. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR PER 2022 CRC, SECTION R307.2.

SITE NOTES

- CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING. 2. UNLESS OTHERWISE NOTED ON THE PLANS, FINISHED GROUND SURFACES SHALL BE GRADED TO DRAIN THE FINISHED SITE PROPERLY WITHIN 10-FEET OF ANY BUILDING FOUNDATION WITH A SLOPE OF 5% AWAY FROM ANY BUILDING OR STRUCTURE. ALL EXTERIOR HARDSCAPE WITHIN 10-FEET OF A BUILDING FOUNDATION SHALL BE INSTALLED WITH A 2% MINIMUM SLOPE AWAY FROM ANY BUILDING OR STRUCTURE. DRAINAGE SWALES SHALL BE A 1.5% MINIMUM SLOPE. ALL GRADED SLOPES SHALL HAVE A MAXIMUM SLOPE OF 3H TO 1V (33%), UNLESS SHOWN OTHERWISE ON THE PLANS.
- LOT GRADING SHALL CONFORM AT THE PROPERTY LINES AND SHALL NOT SLOPE TOWARD PROPERTY LINES IN A MANNER WHICH WOULD CAUSE STORM WATER TO FLOW ONTO NEIGHBORING PROPERTY. HISTORIC DRAINAGE PATTERNS SHALL NOT BE ALTERED IN A MANNER TO CAUSE DRAINAGE PROBLEMS TO NEIGHBORING PROPERTY
- NEW RAINWATER DOWNSPOUTS SHALL BE DISCONNECTED AND DIRECT RUNOFF TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM
- CONTRACTOR TO FIELD VERIFY EXISTING DRAINAGE. IF THE EXISTING DRAINAGE SYSTEM IS DAMAGED DURING EXCAVATION, CONTRACTOR SHALL REPAIR AND/OR REROUTE DRAINAGE SYSTEM AND CONNECT TO EXISTING DRAINAGE FACILITY AS NECESSARY.
- 6. EXISTING PUBLIC IMPROVEMENTS THAT ARE DAMAGED BY THE PROJECT CONSTRUCTION SHALL BE REPAIRED OR REPLACED. EXISTING DAMAGED PUBLIC IMPROVEMENTS WITHIN THE PROJECT LIMITS SHALL BE REPAIRED OR REPLACED EVEN IF THE DAMAGE OCCURRED PRIOR TO THE START OF CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO OCTOBER 1 AND SHALL BE MAINTAINED DAILY UNTIL APRIL 30. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION-CAUSED SILT DEPOSITS AND PROVIDE FOR THE SAFE DISCHARGE OF SILT-FREE STORM WATERS INTO EXISTING STORM DRAIN FACILITIES. EROSION AND SEDIMENT CONTROL SUPPLIES MUST BE KEPT ON-SITE DURING THE DRY SEASON AND EMPLOYED, AS NECESSARY PRIOR TO AND DURING RAIN EVENTS.
- SEASONALLY APPROPRIATE BEST MANAGEMENT PRACTICES FOR THE FOLLOWING SITE MANAGEMENT CATEGORIES MUST BE IMPLEMENTED YEAR-ROUND: 1) EROSION CONTROL; 2) RUN-ON AND RUN-OFF CONTROL; 3) SEDIMENT CONTROL; 4) GOOD SITE MANAGEMENT; AND 5) NON-STORMWATER MANAGEMENT.
- 9. AN ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY CONSTRUCTION ACTIVITY WITHIN A PUBLIC STREET RIGHT OF WAY THAT HAS BEEN ACCEPTED BY THE CITY.

ELECTRICAL NOTES

- 1. CONFORM WITH CURRENT CEC. NFPA. MFR'S, AND LOCAL REQUIREMENTS. 2. ELECTRICAL SYSTEM GROUND TO BE PROVIDED PER NEC ARTICLE 250-81. . ALL MATERIALS TO BE U.L. LABELED.
- 4. METER: "SQUARE D", 120 VOLT/ 240 VOLT, 1 AND 3 WIRE GROUND OR EQUAL. 5. ELECTRICAL SUB PANEL: FLUSH MOUNT, 30" CLEARANCE. 100 AMP. 6. CONDUCTORS: TW, THW, COPPER, MINIMUM 14 AT LIGHTING, 12 AT OTHER
- CIRCUITS. 7. ALL LUMINARIES SHALL COMPLY WITH 2022 CENC SECTION 150.0 (K) AND TABLE 150.0-A AS REFERENCED IN ENERGY NOTES, LUMINAIRE REQUIREMENTS SHEET G-101.
- 8. ALL ELECTRICAL OUTLETS INSTALLED IN BATHROOMS, GARAGES. BASEMENTS, CRAWL SPACES, OUTDOORS, KITCHEN COUNTERS, AND AT WET BAR SINKS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION IN COMPLIANCE WITH NEC Art. 210-8, CONSISTING OF 125 VOLT, SINGLE-PHASE, 15- AND 20- AMPERE RECEPTACLES.
- 9. ALL BATHROOM RECEPTACLE OUTLETS SHALL BE SUPPLIED BY A MINIMUM OF ONE 120-VOLT, 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS. THIS DEDICATED CIRCUIT MAY SERVE MORE
- THAN ONE BATHROOM. (2022 CEC 210.11(C)) 10. THERMOSTAT SHALL BE A PROGRAMMABLE TYPE, HONEYWELL TH8320 OR
- 11. CEILING-SUSPENDED (PADDLE) FANS SHALL BE SUPPORTED INDEPENDENTLY OF AN OUTLET BOX OR BY LISTED OUTLET BOX OR OUTLET BOX SYSTEMS IDENTIFIED FOR THE USE AND INSTALLED IN ACCORDANCE WITH 2022 CEC 314.27(C) (2022 CEC 422.18).
- 12. ALL LUMINARIES, LAMPHOLDERS, AND RETROFIT KITS SHALL BE LISTED (2022 CEC 410.6).
- 13. ALL 120-VOLT. SINGLE PHASE 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, LIVING ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (2022 CEC 210-12(A)).
- 14. ALL NON-LOCKING TYPE 125-VOLT. 15 AND 20 AMPERE RECEPTACLES IN A DWELLING UNIT SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. EXCEPTIONS: (1) RECEPTACLES MORE THAN 5'6" ABOVE THE FLOOR, (2) RECEPTACLES PART OF A LUMINAIRE OR APPLIANCE, (3) A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES THAT ARE NOT EASILY MOVED AND LOCATED WITHIN DEDICATED SPACE AND ARE CHORD-AND-PLUG CONNECTED AS PER CEC 400.10, AND (4) NON-GROUNDING RECEPTACLES USED FOR REPLACEMNETS AS PERMITTED IN
- CEC 406.4(D)(2)(A). 15. HIGH EFFICACY LUMINAIRES OTHER THAN OUTDOOR HID LIGHTING CONTAIN ONLY ONLY HIGH EFFICACY LAMPS AS OUTLINED IN TABLE 150-C OF THE RESIDENTIAL ENERGY CODE AND NOT CONTAIN A MEDIUM SCREW BASE
- 16. BALLAST FOR LAMPS 13 WATTS OR GREATER SHALL BE ELECTRONIC AND
- HAVE AN OUTPUT FREQUENCY NO LESS THAT 20 kHz. 17. SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND PROVIDED WITH A BATTERY BACK-UP. ALL SMOKE DETECTORS SHALL BE INTERCONNECTEED. ALL SMOKE DETECTORS SHALL MAINTAIN A MINIMUM 3 FOOT CLEARANCE TO HVAC SUPPLY OR RETURN AIR
- 18. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND PROVIDED WITH A BATTERY BACK-UP. ALL
- CARBON MONOXIDE ALARAMS SHALL BE INTERCONNECTEED. 19. EXHAUST FANS WILL BE CONTROLLED BY A HUMIDISTAT PER THE GREEN BUILDING STANDARDS CODE SECTION 4.506. EXHAUST FANS MUST BE
- SWITCHED SEPARATELY FROM LIGHTS (2022 CEnC 150.0(k)2G). 20. IN ADDITION TO THE NUMBER OF BRANCH CIRCUTS REQUIRED BY OTHER PARTS OF THE CODE, TWO OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUTS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, PANTRY, BREAKFAST ROOM, DINING ROOM, OR SIMILAR AREA PER 2022 CEC, ARTICLE 210.11 (C)(1). THE CIRCUTS SHALL HAVE NO OTHER OUTLETS PER 2022 CEC, ARTICLE 210.52(B).
- 21. IN ADDITION TO THE NUMBER OF BRANCH CIRCUTS REQUIRED BY OTHER PARTS OF THE CODE, AT LEAST ONE ADDITIONAL 20-AMPERE BRANCH CIRCUT SHALL BE PROVIDED TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET(S) REQUIRED BY 2022 CEC, ARTICLE 210.52 (F). THIS CIRCUT SHALL HAVE NO OTHER OUTLETS PER 2022 CEC, ARTICLE 201.11(C)(2).

ENERGY NOTES

1. THE BUILDER MUST PROVIDE NEW HOMEWONERS WITH A LUMINAIRE SCHEDULE THAT INCLUDES A LIST OF INSTALLED LAMPS AND LUMINARIES.

LUMINAIRE REQUIREMENTS (2022 CEnC 150.0(k)1). A. LUMINAIRE EFFICACY. ALL INSTALLED LUMINAIRES SHALL MEET THE

REQUIREMENTS IN TABLE 150.0-A. EXCEPT: INTEGRATED DEVICE LIGHTING. LIGHTING INTEGRAL TO EXHAUST FANS, KITCHEN RANGE HOODS, BATH VANITY MIRRORS AND GARAGE DOOR OPENERS. NAVIGATION LIGHTING: SUCH AS NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS LESS THAN 5 WATTS. CABINET LIGHTING: LIGHTING INTERNAL TO DRAWERS, CABINETRY AND LINEN CLOSETS WITH AN EFFICACY OF 45 LUMENS PER WATT OR GREATER.

THE FOLLOWING ARE HIGH-EFFICACY LIGHT SOURCES PER TABLE 150.0-A: THE FOLLOWING LIGHT SOURCES, OTHER THAN THOSE INSTALLED IN CEILING RECESSED DOWNLIGHT LUMINAIRES, ARE NOT REQUIRED TO **COMPLY WITH REFERENCE JOINT APPENDIX JA8:**

1. LED LIGHT SOURCES INSTALLED OUTDOORS. 2. INSEPARABLE SOLID STATE LIGHTING (SSL) LUMINAIRES CONTAINING COLORED LIGHT SOURCES THAT ARE INSTALLED TO

PROVIDE DECORATIVE LIGHTING.

- 3. PIN-BASED LINEAR FLUORESCENT OR COMPACT FLUORESCENT LIGHT SOURCES USING ELECTRONIC BALLASTS. 4. HIGH INTENSITY DISCHARGE (HID) LIGHT SOURCES INCLUDING PULSE START METAL HALIDE AND HIGH PRESSURE SODIUM LIGHT
- SOURCES. 5. LUMINAIRES WITH HARDWIRED HIGH FREQUENCY GENERATOR AND INDUCTION LAMP.
- 6. CEILING FAN LIGHT KITS SUBJECT TO FEDERAL APPLIANCE REGULATIONS. THE FOLLOWING LIGHT SOURCES ARE ONLY CONSIDERED TO BE HIGH EFFICACY IF THEY ARE CERTIFIED TO THE COMMISSION AS HIGH
- EFFICACY LIGHT SOURCES IN ACCORDANCE WITH REFERENCE JOINT APPENDIX JA8 AND MARKED AS REQUIRED BY JA8: 1. ALL LIGHT SOURCES INSTALLED IN CEILING RECESSED DOWNLIGHT LUMINAIRES. NOTE THAT CEILING RECESSED DOWNLIGHT LUMINAIRES SHALL NOT HAVE SCREW BASES REGARDLESS OF LAMP
- 2. ANY LIGHT SOURCE NOT OTHERWISE LISTED. B. SCREW-BASED LUMINAIRES. SCREW-BASED LUMINAIRES SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8.

TYPE AS DESCRIBED IN SECTION 150.0(K)1C.

. RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS. LUMINAIRES RECESSED INTO CEILINGS SHALL MEET ALL OF THE FOLLOWING REQUIREMENTS: 1. SHALL NOT CONTAIN SCREW BASE LAMP SOCKETS; AND

2. HAVE A LABEL THAT CERTIFIES THE LUMINAIRE IS AIRTIGHT WITH AIR

LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS WHEN TESTED IN ACCORDANCE WITH ASTM E283. AN EXHAUST FAN HOUSING WITH INTEGRAL LIGHT SHALL NOT BE REQUIRED TO BE CERTIFIED AIRTIGHT; 3. BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUMINAIRE HOUSING AND CEILING, AND HAVE ALL AIR LEAK PATHS BETWEEN CONDITIONED AND UNCONDITIONED SPACES SEALED WITH A GASKET

OR CAULK, OR BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS TO

- MAINTAIN AIRTIGHTNESS BETWEEN THE LUMINAIRE HOUSING AND CEILING; AND 4. MEET THE CLEARANCE AND INSTALLATION REQUIREMENTS OF CALIFORNIA ELECTRICAL CODE SECTION 410.116 FOR RECESSED
- LUMINAIRES. EXCEPT: RECESSED LUMINAIRES MARKED FOR USE IN FIRE-RATED INSTALLATIONS EXTRUDED INTO CEILING SPACE AND RECESSED LUMINAIRES INSTALLED IN NONINSULATED CEILINGS.

ENERGY NOTES CONTINUED

- D. LIGHT SOURCES IN ENCLOSED OR RECESSED LUMINAIRES. LAMPS AND OTHER SEPARABLE LIGHT SOURCES THAT ARE NOT COMPLIANT WITH THE JA8 ELEVATED TEMPERATURE REQUIREMENTS, INCLUDING MARKING REQUIREMENTS, SHALL NOT BE INSTALLED IN ENCLOSED OR RECESSED LUMINAIRES
- E. BLANK ELECTRICAL BOXES. THE NUMBER OF ELECTRICAL BOXES THAT ARE MORE THAN 5 FEET ABOVE THE FINISHED FLOOR AND DO NOT CONTAIN A LUMINAIRE OR OTHER DEVICE SHALL BE NO GREATER THAN THE NUMBER OF BEDROOMS. THESE ELECTRICAL BOXES MUST BE SERVED BY A DIMMER VACANCY SENSOR CONTROL, LOW VOLTAGE WIRING OR FAN SPEED CONTROL.
- NDOOR LIGHTING CONTROLS (2022 CEnC 150.0(k)2). A. LIGHTING SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY TURNED ON AND OFF. **EXCEPT:** CEILING FANS MAY PROVIDE CONTROL OF INTEGRATED LIGHTING
- VIA A REMOTE CONTROL. A. NO CONTROLS SHALL BYPASS A DIMMER. OCCUPANT SENSOR OR VACANCY SENSOR FUNCTION WHERE THAT DIMMER OR SENSOR HAS BEEN INSTALLED TO COMPLY WITH SECTION 150.0(K).
- B. LIGHTING CONTROLS SHALL COMPLY WITH THE APPLICABLE
- REQUIREMENTS OF SECTION 110.9. C. AN ENERGY MANAGEMENT CONTROL SYSTEM (EMCS) OR A MULTISCENE PROGRAMMABLE CONTROL MAY BE USED TO COMPLY WITH DIMMING, OCCUPANCY AND LIGHTING CONTROL REQUIREMENTS IN SECTION 150.0(K)2 IF IT PROVIDES THE FUNCTIONALITY OF THE SPECIFIED CONTROLS IN ACCORDANCE WITH SECTION 110.9, AND THE PHYSICAL CONTROLS SPECIFIED IN SECTION 150.0(K)2A.
- D. AUTOMATIC-OFF CONTROLS. 1. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS, AT LEAST ONE INSTALLED LUMINAIRE SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY.
- 2. FOR LIGHTING INTERNAL TO DRAWERS AND CABINETRY WITH OPAQUE FRONTS OR DOORS, CONTROLS THAT TURN THE LIGHT OFF WHEN THE DRAWER OR DOOR IS CLOSED SHALL BE PROVIDED.
- **DIMMING CONTROLS.** LIGHTING IN HABITABLE SPACES, INCLUDING BUT NOT LIMITED TO LIVING ROOMS. DINING ROOMS. KITCHENS AND BEDROOMS. SHALL HAVE READILY ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY ADJUSTED UP AND DOWN FORWARD PHASE CUT DIMMERS CONTROLLING LED LIGHT SOURCES IN THESE SPACES SHALL COMPLY WITH NEMA SSL 7A. **EXCEPT:** CEILING FANS MAY PROVIDE CONTROL OF INTEGRATED LIGHTING VIA A REMOTE CONTROL. LUMINAIRES CONNECTED TO A CIRCUIT WITH CONTROLLED LIGHTING POWER LESS THAN 20 WATTS OR CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTIONALITY. NAVIGATION LIGHTING SUCH AS NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS LESS THAN 5 WATTS, AND LIGHTING INTERNAL TO
- AUTOMATIC-OFF CONTROLS. INDEPENDENT CONTROLS. INTEGRATED LIGHTING OF EXHAUST FANS SHALL BE CONTROLLED INDEPENDENTLY FROM THE FANS. THE FOLLOWING SHALL BE CONTROLLED SEPARATELY FROM CEILING-INSTALLED LIGHTING SUCH THAT ONE CAN BE TURNED ON WITHOUT TURNING ON THE OTHER: 1. UNDERCABINET LIGHTING, UNDERSHELF LIGHTING, INTERIOR LIGHTING

DRAWERS AND CABINETRY WITH OPAQUE FRONTS OR DOORS OR WITH

- OF DISPLAY CABINETS, AND SWITCHED OUTLETS. RESIDENTIAL OUTDOOR LIGHTING (2022 CEnC 150.0(k)3). IN ADDITION TO MEETING THE REQUIREMENTS OF SECTION 150.0(K)1A, LUMINAIRES PROVIDING RESIDENTIAL OUTDOOR LIGHTING SHALL MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE:
- A. FOR SINGLE-FAMILY RESIDENTIAL BUILDINGS, OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL MEET THE REQUIREMENT IN ITEM I AND THE REQUIREMENTS IN EITHER ITEM II OR ITEM III: 1. CONTROLLED BY A MANUAL ON AND OFF CONTROL SWITCH THAT
- PERMITS THE AUTOMATIC ACTIONS OF ITEMS II OR III BELOW: AND 2. CONTROLLED BY A PHOTOCELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
- CONTROLLED BY AN ASTRONOMICAL TIME CLOCK CONTROL. NOTE: CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROL TO ITS NORMAL OPERATION WITHIN 6 HOURS. AN ENERGY MANAGEMENT CONTROL SYSTEM THAT PROVIDES THE SPECIFIED LIGHTING CONTROL FUNCTIONALITY AND COMPLIES WITH ALL REQUIREMENTS APPLICABLE TO THE SPECIFIED CONTROLS MAY BE USED TO MEET THESE REQUIREMENTS.
- ALL JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE THAT ARE POTENTIAL SOURCES OF AIR LEAKAGE SHALL BE CAULKED, GASKETED, WEATHER-STRIPPED OR OTHERWISE SEALED TO
- LIMIT INFILTRATION AND EXFILTRATION (2022 CEnC 110.7). . ATTIC ACCESS DOORS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS. THE ATTIC ACCESS SHALL BE GASKETED TO PREVENT AIR LEAKAGE (2022 CEnC 150.0(a)2)

PLUMBING NOTES

- 1. CONFORM WITH CURRENT CPC AND LOCAL REQUIREMENTS.
- 2. DOMESTIC WATER (WITHIN BUILDING): COPPER OR PEX PIPE OR APPROVED EQUAL.
- 3. AIR CHAMBERS: 12" LONG CAPPED NIPPLE AT END OF EACH BRANCH TO **EACH FIXTURE**
- 4. DIELECTRIC UNIONS "F.P.C.O." REQUIREMENT AT ALL DISSIMILAR MATERIAL CONNECTIONS.
- 5. WHEN "OPTIONAL" SOFT-WATER LOOP INTALLED, PROVIDE WITH 2 GATE VALVES
- 6. WATER SERVICE PIPE SHALL BE PER CIVIL PLANS OR AS REQUIRED BY THE JURISDICTION.
- 7. WATER METER: PER WATER DISTRICT (REFER SIZE W/ FIRE SPRINKLER PLANS IF APPLICABLE)
- 8. SHOWER HEADS AND FAUCETS: FLOW RATES PER 2022 CGBSC SECTION
- 9. WATER HEATER (REFER TO BUILDING ENERGY ANALYSIS REPORT): A. ALL DOMESTIC HOT WATER PIPING SHALL BE INSULATED. (2022 CPC
- 1. PIPES UP TO 2 INCHES IN DIAMETER: INSULATION WALL THICKNESS
 - NOT LESS THAN DIAMETER OF PIPE. (2022 CPC 609.12.2) 2. PIPES GREATER THAN 2 INCHES IN DIAMETER: INSULATION WALL THICKNESS NOT LESS THAN 2 INCHES. (2022 CPC 609.12.2)
- 1. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION. (2022 CPC 609.12.2) 2. HOT WATER PIPING BETWEEN THE FIXTURE CONTROL VALVE OR

SUPPLY STOP AND THE FIXTURE OR APPLIANCE SHALL NOT BE

- REQUIRED TO BE INSULATED. (2022 CPC 609.12.2) PROVIDE A TEMPERATURE AND PRESSURE RELIEF VALVE WITH A FULL SIZE DRAIN OF GALVANIZED STEEL OR HARD DRAWN COPPER TO THE OUTSIDE OF THE BUILDING WITH THE END OF THE PIPE PROTRUDING 6" MINIMUM @ 2' MAX. ABOVE GRADE POINTING DOWNWARD TO THE
- TERMINATION UNTHREADED. **C.** COMBUSTION AIR PER MANUFACTURE REQUIREMENTS.
- D. CLEARANCES PER MANUFACTURE REQUIREMENTS. 10. PLUMBING INSULATION PER 2022 CENC 150.0 (J) AND CBC 609.11
- A. DOMESTIC HOT WATER PIPING SHALL BE INSULATED. B. HOT WATER PIPE INSULATION SHALL HAVE A MINIMUM WALL THICKNESS OF NOT LESS THAN THE DIAMETER OF THE PIPE FOR A PIPE UP TO 2
- INCHES (50 MM) IN DIAMETER. INSULATION WALL THICKNESS SHALL BE NOT LESS THAN 2 INCHES (51 MM) FOR A PIPE OF 2 INCHES (50 MM) OR MORE IN DIAMETER
- 1. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION. 2. HOT WATER PIPING BETWEEN THE FIXTURE CONTROL VALVE OR
- SUPPLY STOP AND THE FIXTURE OR APPLIANCE SHALL NOT BE REQUIRED TO BE INSULATED. C. SERVICE WATER HEATING SYSTEMS PIPING TO INCLUDE.
- 1. RECIRCULATING SYSTEM PIPING, INCLUDING THE SUPPLY AND RETURN PIPING TO THE WATER HEATER. 2. THE FIRST 8 FEET OF HOT AND COLD OUTLET PIPING, INCLUDING
- PIPING BETWEEN A STORAGE TANK AND A HEAT TRAP, FOR A NON-RECIRCULATING STORAGE SYSTEM. 3. PIPES THAT ARE EXTERNALLY HEATED.
- SHALL BE INSULATED AS FOLLOWS: UP TO 1" PIPE DIAMETER TO HAVE 1.0 MIN THICKNESS OR R7/7 RATING PER CENC TABLE 120.3A **EXCEPTIONS:**
- 1. FACTORY-INSTALLED PIPING WITHIN SPACE-CONDITIONING EQUIPMENT CERTIFIED UNDER SECTION 110.1 OR 110.2. 2. PIPING THAT PENETRATES FRAMING MEMBERS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION FOR THE DISTANCE OF THE FRAMING PENETRATION. METAL PIPING THAT ENETRATES METAL FRAMING SHALL USE GROMMETS, PLUGS, WRAPPING OR OTHER INSULATING MATERIAL TO ASSURE THAT NO CONTACT IS
- MADE WITH THE METAL FRAMING. 3. PIPING INSTALLED IN INTERIOR OR EXTERIOR WALLS SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION IF ALL OF THE REQUIREMENTS ARE MET FOR COMPLIANCE WITH QUALITY INSULATION INSTALLATION (QII) AS SPECIFIED IN THE
- REFERENCE RESIDENTIAL APPENDIX RA3.5. 4. PIPING SURROUNDED WITH A MINIMUM OF 1 INCH OF WALL INSULATION, 2 INCHES OF CRAWLSPACE INSULATION, OR 4 INCHES OF ATTIC INSULATION SHALL NOT BE REQUIRED TO HAVE PIPE INSULATION.
- 11. INSULATION PROTECTION. PIPE INSULATION SHALL BE PROTECTED FROM DAMAGE DUE TO SUNLIGHT, MOISTURE, EQUIPMENT MAINTENANCE AND WIND. PROTECTION SHALL, AT MINIMUM, INCLUDE THE FOLLOWING (2022 CEC SECTION 120.3(B)):
- A. PIPE INSULATION EXPOSED TO WEATHER SHALL BE PROTECTED BY A COVER SUITABLE FOR OUTDOOR SERVICE. THE COVER SHALL BE WATER RETARDANT AND PROVIDES SHIELDING FROM SOLAR RADIATION THAT CAN CAUSE DEGRADATION OF THE MATERIAL. ADHESIVE TAPE
- SHALL NOT BE USED TO PROVIDE THIS PROTECTION. B. PIPE INSULATION COVERING CHILLED WATER PIPING AND REFRIGERANT SUCTION PIPING LOCATED OUTSIDE THE CONDITIONED SPACE SHALL INCLUDE, OR BE PROTECTED BY, A CLASS I OR CLASS II VAPOR RETARDER, ALL PENETRATIONS AND JOINTS SHALL BE SEALED.
- C. PIPE INSULATION BURIED BELOW GRADE MUST BE INSTALLED IN A WATER PROOF AND NONCRUSHABLE CASING OR SLEEVE. 12. PIPE INSULATION: REFER TO TITLE 24 - MANDATORY MEASURES - "SPACE CONDITIONING, WATER HEATING & PLUMBING SYSTEM MEASURES"
- 13. STRAPS AND HANGERS: PROVIDE AS NECESSARY TO INSURE A STABLE INSTALLATION. SEE TITLE-24 FOR WATER HEATER REQUIREMENTS. 14. ALL HOSE BIBS SHALL HAVE APPROVED BACK FLOW PREVENTION
- DEVICES. 15. PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL MEET THE STANDARDS REFERENCED IN CALGREEN
- TABLE 4.303.3. 16. WATER HEATER SHALL BE PROVIDED WITH A TEMPERATURE AND PRESSURE RELIEF VALVE. PER [2022 CPC 505.2] THE RELIEF VALVE SHALL BE PROVIDED WITH A DRAIN LINE WHICH EXTENDS FROM THE VALVES TO THE
- OUTSIDE OF THE BUILDING. PER [2022 608.5 CPC] 17. PER 2022 CPC 603.5.7 OUTLETS WITH HOSE ATTATCHMENTS. POTABLE WATER OUTLETS WITH HOSE ATTACHMENTS, OTHER THAN WATER HEATER DRAINS, BOILER DRAINS, AND CLOTHES WASHER CONNECTIONS, SHALL BE PROTECTED BY A NONREMOVABLE HOSE BIBB TYPE BACKFLOW PREVENTER, A NONREMOVABLE HOSE BIBB TYPE VACUMM BREAKER, OR BY AN ATMOSPHERE VACUUM BREAKER INSTALLED NOT LESS THAN 6 INCHES ABOVE THE HIGHEST POINT OF USAGE LOCATED ON THE DISCHARGE SIDE OF THE LAST VALVE. IN CLIMATES WHERE FREEZING TEMPERATURES OCCUR, A LISTED SELF DRAINING FROST-PROOF HOSE BIBB WITH AN INTEGRAL BACKFLOW PREVENTER OR VACUUM BREAKER SHALL BE USED.

GENERAL NOTES

- APPLICABLE CODES AND STANDARDS: 1.1. 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS.
- 1.2. 2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS.
- 1.3. 2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS. 1.4. 2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS.
- 1.5. 2022 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS. 1.6. 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS.
- 1.7 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS.
- 1.8 2022 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS 1.9 CURRENT CITY OF COACHELLA, CA MUNICIPAL CODE.
- ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE
- PROCEEDING AT HIS/HER OWN RISK. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS.
- IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE.
- CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- 11. THE FOLLOWING ITEMS SHODRAWINGS ARE OWNER PROVIDED, OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER.
- 11.1. TV/DVD SYSTEMS
- 11.2 ICE MACHINE
- 11.3 VENDING MACHINE 11.4 REFRIGERATOR
- 11.5 MICROWAVE 12. OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER.
- 13. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS.
- 14. CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS.
- 15. A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO INSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH
- TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT. 16. OWNER TO PROVIDE LOCATION OF THE NEAREST FIRE HYDRANT. FIRE
- HYDRANT LOCAION SHALL MEET THE REQUIREMENTS IN THE CFC. 17. IF THE MAIN RESIDENCE HAS TWO EXISTING WATER CLOSETS, WITH THE INCLUSION OF THE ADDITIONAL WATER CLOSET IN THE ADU, THE EXISTING SEWER LATERAL SIZE IS TO BE VARIFIED TO BE 4 INCHES PER CPC TABLE 703.2.

MECHANICAL NOTES

- 1. CONFORM WITH CURRENT ADOPTED CRC, CMC, SMACCNA, NFPA AND
- LOCAL REQUIREMENTS. 2. DUCTWORK: SMACCNA "LOW VELOCITY DUCT CONSTRUCTION" NFPA STANDARD #90A. ALL TRANSVERSE DUCT PLENUM AND FITTING JOINTS SHALL BE SEALED WITH PRESSURE SENSITIVE NON-CLOTH TAPE MEETING THE REQUIREMENTS OF UL181, 181A, OR 181B, OR MASTIC TO PREVENT AIR LOSS. DUCTS SHALL BE INSULATED AS REQUIRED BY THE UMC. SEE FLOOR PLAN FOR F.A.U. AND FIREPLACES, DUCTS PENETRATING A WALL OR FLOOR-CEILING BETWEEN GARAGE & DWELLING TO BE MINIMUM 26 GAUGE
- METAL WITHOUT OPENING IN GARAGE. FIRE DAMPER REQUIRED 3. GRILLES AND REGISTERS, DIFFUSERS, ETC: SUBJECT TO OWNERS APPROVAL. "CARNES" OR EQUAL FANS: DIRECTLY VENTED TO OUTSIDE,
- BACK DRAFT DAMPERS ARE REQUIRED (PER TABLE 2-53V, TITLE 24 C.A.C.). 4. LAUNDRY DRYER VENT TO EXTERIOR TO BE 14 FEET MAXIMUM, LESS 2 FÉET PER 90 DEGREE TURN PER CMC 504.3.2.2. IF VENT IS OVER 14' AN APPROVED POWER ASSISTED DEVICE IS REQUIRED. DRYER EXHAUST DUCT POWER VENTILATORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 705 AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S
- INSTALLATION INSTRUCTIONS PER 2022 CMC, SECTION 504.2.2.3. SEE NOTE BATHROOM EXHAUST FANS (BATHROOM APPLIES TO ROOMS CONTAINING BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION) WHICH
- EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING (2022 CGBSC SEC. 4.506.1): a. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING MIN 3' FROM OPENINGS.
- b. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF ≤ 50 PERCENT TO A
- MAXIMUM OF 80 PERCENT. A HUMIDITY CONTROL MAY UTILIZE MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT. A HUMIDITY CONTROL MAY BE A
- SEPARATE COMPONENT TO EXHAUST FAN AND IS NOT REQUIRED TO BE INTEGRAL(I.E. BUILT IN) BATHROOM EXHAUST FANS SHALL PROVIDE MINIMUM 50 CFM EXHAUST
- RATE (2022 CMC TABLE 403.7). KITCHEN EXHAUST FANS SHALL PROVIDE MINIMUM 100 CFM EXHAUST RATE (2022 CMC TABLE 403.7)

WINDOWS

- a. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS.
- THE OPENABLE AREA TO THE OUTDOORS SHALL BE NOT LESS THAN 4 PERCENT OF THE FLOOR AREA BEING VENTILATED. b. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED TO BE A HAZARDOUS
- LOCATION: THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SQUARE FEET (0.836 M2).
- THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES (457 MM) ABOVE THE FLOOR. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 INCHES (914 MM)
- ABOVE THE FLOOR. • ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES (914 MM),

MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING.

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE

PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED

YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION.

THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR

DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE

STEP BY STEP INSTRUCTIONS IN THE FIELD.

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DATE 01/11/24

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SHEET

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Standard Design TDV Energy

(EDR2) (kTDV/ft² -yr)

0.59

113.38

5.2

159.68

0

91.89

82.93

466.55

5.55

Perimeter (ft)

04

Framing

2x4 @ 16 in. O. C.

2x4 @ 24 in. O. C.

2x4 @ 24 in. O. C.

Standard Design Source

Energy (EDR1) (kBtu/ft² -yr)

0

0

0

0

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

03

Area (ft²)

441

03

Construction Type

Wood Framed Wall

Ceiling

Wood Framed

Quality Insulation Installation (QII) High R-value Spray Foam Insulation Building Envelope Air Leakage

Project Name: Coachella ADUs (Plan 6-Conversion)

Living Area

Surface Type

Exterior Walls

Attic Roofs

Ceilings (below

Calculation Description: Title 24 Analysis

Project Name: Coachella ADUs (Plan 6-Conversion)

Calculation Description: Title 24 Analysis

ENERGY USE SUMMARY

Energy Use

Space Heating

Space Cooling

IAQ Ventilation

Water Heating

Utilization/Flexibility

Efficiency Compliance

Photovoltaics

Battery

Flexibility

Indoor Lighting

Appl. & Cooking

Plug Loads

Outdoor Lighting

TOTAL COMPLIANCE

Credit

- 0 6 5 6	8	

chella ADUs (Plan 6-Conversion)	roject Nar
otion: Title 24 Analysis	Calculation
ION	SENERAL IN
Project Name Coach	01
Run Title Title 2	02
Project Location _	03
City Coach	04
Zip code	06
Climate Zone 15	08
Building Type Single	10
Project Scope Newly	12
Addition Cond. Floor Area (ft ²) 441	14
4	

Calculation Date/Time: 2023-08-28T10:22:43-07:00

Energy (EDR1) (kBtu/ft² -yr)

0

0

0

0

0

0

0

0

Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

Proposed Design Source Proposed Design TDV Energy Compliance

(EDR2) (kTDV/ft² -yr)

1.56

94.46

5.2

159.68

Margin (EDR1)

GENERAL INFORMATION									
01	Project Name	achella ADUs (Plan 6-Conversion)							
02	Run Title	Title 24 Analysis							
03	Project Location	_							
04	City	Coachella	05	Standards Version	2022				
06	Zip code		07	Software Version	EnergyPro 9.2				
08	Climate Zone	15	09	Front Orientation (deg/ Cardinal)	0				
10	Building Type	Single family	11	Number of Dwelling Units	1				
12	Project Scope	Newly Constructed Addition	13	Number of Bedrooms	1				
14	Addition Cond. Floor Area (ft ²)	441	15	Number of Stories	1				
16	Existing Cond. Floor Area (ft ²)	1000	17	Fenestration Average U-factor	0.3				
18	Total Cond. Floor Area (ft²)	1441	19	Glazing Percentage (%)	8.16%				
20	ADU Bedroom Count		21	ADU Conditioned Floor Area	441				
22	Fuel Type	Propane	23	Occupancy U:	No				

		MI CLI			
ADDITION ALONE - Project Analysis Pa	nrameters	LERS PE	ROVÍDE	R	
01 02		03	04	05	06
Existing Area (excl. new addition) (ft2)	Addition Area (excl. existing) (ft2)	Total Area (ft2)	Existing Bedrooms	Addition Bedrooms	Total Bedrooms
1000	1000 441		0	1	1

ADDITION A	ADDITION ALONE - ACCESSORY DWELLING UNIT (ADU) PROJECT ANALYSIS PARAMETERS									
01	01 02 03		04	04 05		07	08			
Zone N	lame	Existing Area new addition)		ADU Area (excl. existing) (ft ²)	Total Area (ft ²)	Existing Bedrooms	Addition Bedrooms	Total Bedrooms	Attached vs. Detached	
Living /	Area	1000		441	1441	0	1	1	Attached	

CA Building Energy Efficiency Standards - 2022 Residential Compliance

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Coachella ADUs (Plan 6-Conversion)

Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-08-28T10:22:43-07:00 Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

Calculation Date/Time: 2023-08-28T10:22:43-07:00

Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

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CF1R-PRF-01E

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STEP BY STEP INSTRUCTIONS IN THE FIELD.

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	Standard Design (kBtu/ft ² - yr)	Proposed Design (kBtu/ft ² - yr)	Compliance Margin (kBtu/ft ² - yr)	Margin Percentage		
Gross EUI ¹	60.68 59.03		1.65	2.72		
Net EUI ²	60.68	59.03	1.65	2.72		
otes 1. Gross EUI is Energy Use Total (not including PV) / Total Building Area. 2. Net EUI is Energy Use Total (including PV) / Total Building Area.						

Gross EUI is Energy Use Total (not including PV) / Total Building Area. Net EUI is Energy Use Total (including PV) / Total Building Area.

The	following are features that must b
	Variable capacity heat pump cor

be installed as condition for meeting the modeled energy performance for this computer analysis. compliance option (verification details from VCHP Staff report, Appendix B, and RA3)

REQUIRED SPECIAL FEATURES

Registration Number:

ENERGY USE INTENSITY

The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry

Kitchen range hood Verified Refrigerant Charge

Airflow in habitable rooms (SC3.1.4.1.7) Verified heat pump rated heating capacity Wall-mounted thermostat in zones greater than 150 ft2 (SC3.4.5) Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

ı	pareness maren	energies many arms reason arms of an arms of an arms of the second present arms.								
	ZONE INFORMATION									
	01	02	03	04	05	06	07			
	Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft ²)	Avg. Ceiling Height	Water Heating System 1	Status			
	Living Area	Conditioned	HVAC System1	441	8	DHW Sus 1	New			

HERS PROVIDER

Registration Number: 223-P010107538A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Domestic Hot

Water (DHW)

DHW Sys 1

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DHW Heater 1 (1)

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(Page 6 of 9) Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

CalCERTS inc.

CF1R-PRF-01E

Margin (EDR2)

-0.97

18.92

0

17.95

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CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD Project Name: Coachella ADUs (Plan 6-Conversion)

03

Distribution Type | Water Heater Name

Calculation Date/Time: 2023-08-28T10:22:43-07:00 Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

05	06	07	08	09
Number of Units	Solar Heating System	Compact Distribution	HERS Verification	Water Heater Name (#)

										_		
WATER HEATERS												
01	02	03	04	05	06	07	08	09	10	11	12	13
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	
DHW	Pronane	Small	1	50		0.57	Reu/Hr	75000	0	78	n/a	

WATER HEATING - HERS VE	RIFICATION	HER	SPRO	VIDER		
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONING SYSTEMS									
01		02	03	04	05	06	07	08	09
Nam	ie	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC Sy	stem1	Heat pump heating cooling	Heat Pump System 1	1	Heat Pump System 1	1	n/a	n/a	Setback

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Project Name: Coachella ADUs (Plan 6-Conversion)

Calculation Description: Title 24 Analysis

Calculation Date/Time: 2023-08-28T10:22:43-07:00

Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

	COMPLIANCE RE	SULTS		
	01	Building Complies with Computer Performance		
02 This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS				
	03	This building incorporates one or more Special Features shown below		



Registration Number: 223-P010107538A-000-000-000000-0000 Registration Date/Time: 2023-08-28 11:08:50 CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000

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Registration Number: 223-P010107538A-000-000-0000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

SLAB FLOORS

Name

Slab

Construction Name

Attic RoofLiving Area

R-30 Roof Attic

BUILDING ENVELOPE - HERS VERIFICATION

OPAQUE SURFACE CONSTRUCTIONS

Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901

Edge Insul. R-value

and Depth

none

05

Total Cavity

R-value

R-15

R-30

2023-08-28 11:08:50 Report Generated: 2023-08-28 10:23:01

Edge Insul. R-value

06 Interior / Exterior

R-value

None / None

None / 0

Continuous U-factor

None / None 0.032

CFM50

91.68

82.93

5.55

448.39

CF1R-PRF-01E Calculation Date/Time: 2023-08-28T10:22:43-07:00

Assembly Layers

Inside Finish: Gypsum Board

Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco

Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood

Siding/sheathing/decking

Cavity / Frame: no insul. / 2x4 Over Ceiling Joists: R-20.9 insul.

Cavity / Frame: R-9.1 / 2x4 Inside Finish: Gypsum Board

05

CFM50 n/a

80%

version).ribd22x		Calculation Des	cription: Title 24 Analy	sis
		WATER HEATING	SYSTEMS	
07	08	01	02	
Carpeted Fraction	Heated	Name	System Type	Di

	J
Heated	
No	
08	

WATER HEATE	RS					
01	02	03	04	05	06	07
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency
DHW	Propane	Small	1	50	EF	0.57

ı				A									
	Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Heating Efficiency Type	Efficiency	Rated Input Type	Input Rating or Pilot	Tank Insulation R-value (Int/Ext)	Standby Loss or Recovery Eff	1st Hr. Rating or Flow Rate	Loc
	DHW Heater 1	Propane	Small Storage	1	50	EF	0.57	Btu/Hr	75000	0	78	n/a	
					-								
1	WATER HEATIN	UC HERE VERI	FICATION							_			

WATER HEATING - HERS VE	RIFICATION	HER	SPRO	VIDER		
01	02	03	04	05	06	07
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Shower Drain Water Heat Recovery
DHW Sys 1 - 1/1	Not Required	Not Required	Not Required	None	Not Required	Not Required

SPACE CONDITIONIN	G SYSTEMS							
01	02	03	04	05	06	07	08	09
Name	System Type	Heating Unit Name	Heating Equipment Count	Cooling Unit Name	Cooling Equipment Count	Fan Name	Distribution Name	Required Thermostat Type
HVAC System1	Heat pump heating cooling	Heat Pump System 1		Heat Pump System 1		n/a	n/a	Setback

Project Name: Coachella ADUs (Plan 6-Conversion)

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

Schema Version: rev 20220901

Calculation Date/Time: 2023-08-28T10:22:43-07:00 Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

Calculation Descr	ription: Title 24 An	alysis		Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x								
OPAQUE SURFACES	5											
01	02	03	04	05	06	07	08	09	10			
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)	Wall Exceptions	Status			
Front Wall	Living Area	R15 Wall	0	Front	168	56	90	Ex. w/ Siding	New			
Left Wall	Living Area	R15 Wall	90	Left	168	0	90	Ex. w/ Siding	New			
Rear Wall	Living Area	R15 Wall	180	Back	168	0	90	Ex. w/ Siding	New			
Right Wall	Living Area	R15 Wall	270	Right	168	0	90	Ex. w/ Siding	New			
Roof	Living Area	R-30 Roof Attic	n/a	n/a	441	n/a	n/a		New			

Right Wall Living Area		R1	5 Wall	270	Right	168	0	90	Ex. w/ Siding	New
Roof	Living Area	R-30	Roof Attic	n/a	n/a	441	n/a	n/a		New
			A							
ATTIC										
01	02			03	04	05	06		07	08
Name	Construc	tion	1	ype	Roof Rise (x in	12) Roof Reflecta	nce Roof Emit	tance Radi	ant Barrier	Cool Roof
Attic Living Area	Attic RoofLiv	ing Area	Ven	tilated	4	0.1	0.85		No	No

Actic civing Air	ea Accie	NOOTEN IIII ATEA	venti	nated				0.1		V.03	1		140
			4				\sim						
FENESTRATION /	GLAZING			$\subset a$					/	16.			
01	02	03	04	05	R06S	07P	08	09√	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft²)	U-factor	U-factor Source	SHGC	SHGC Source	Exterior Shading
2	Window	Front Wall	Front	0			1	18	0.3	NFRC	0.23	NFRC	Bug Screen
3	Window	Front Wall	Front	0			1	18	0.3	NFRC	0.23	NFRC	Bug Screen

OPAQUE DOORS									
	01		02			03		04	
	Name		Side of Buildi	ng		Area (ft ²)		U-factor	
	D2		Front Wall			20		0.2	

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Registration Number: 223-P010107538A-000-000-0000000-0000 Registration Date/Time: 2023-08-28 11:08:50 Report Version: 2022.0.000 Schema Version: rev 20220901

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DATE

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Registration Date/Time: Report Version: 2022.0.000 Schema Version: rev 20220901

Schema Version: rev 20220901

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CA Building Energy Efficiency Standards - 2022 Residential Compliance

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Airflow to

Habitable

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Efficiency SEER /

SEER2

06

Verified Refrigerant

Charge

Air Filter Sizing

& Pressure

Drop Rating

06

IAQ Recovery

Effectiveness - SRE

n/a / n/a

Type

EERSEER

| HSPF2 / | Cap 47 | Cap 17 |

25000 20000

05

Verified

SEER/SEER2

Not Required

Thermostat

Heat/Energy

Recovery?

COP

04

Verified EER/EER2

Not Required

in Conditioned

04

IAQ Fan Type

Exhaust

Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

EER /

14 11 Not Zonal

07

Ducts in

Conditioned

Space

07

Verified

HSPF/HSPF2

08

Airflow per

RA3.3 and

SC3.3.3.4.1

Required Not required Not required Not required Not required

07

Includes Fault

Indicator Display?

HERS Provider: Report Generated: 2023-08-28 10:23:01

non-continuous

Fan

CF1R-PRF-01E

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HERS Verification

Heat Pump System

1-hers-htpump

Verified Heating

Cap 17

Indoor Fan not

08

Verified Heating

Cap 47

08

HERS Verification

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD

I certify that this Certificate of Compliance documentation is accurate and complete.

223-P010107538A-000-000-0000000-0000

CA Building Energy Efficiency Standards - 2022 Residential Compliance

Project Name: Coachella ADUs (Plan 6-Conversion)

DOCUMENTATION AUTHOR'S DECLARATION STATEMENT

Calculation Description: Title 24 Analysis

2238 Bayview Heights Drive, Suite E

RESPONSIBLE PERSON'S DECLARATION STATEMENT

umentation Author Name

Timothy Carstairs

Carstairs Energy Inc.

Los Osos, CA 93402

sponsible Designer Name:

RRM Design Group

3765 S. Higuera Street, Suite 102

San Luis Obispo, CA 94301

Randy Russom

Calculation Date/Time: 2023-08-28T10:22:43-07:00 (Page 9 of 9) Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

Timothy Carstairs

805-543-1794 Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information. Easy to Verify at CalCERTS.com Registration Date/Time: HERS Provider: 2023-08-28 11:08:50 Report Version: 2022.0.000

mentation Author Signature

CEA/ HERS Certification Identification (If applicable)

2023-08-28 11:08:50

2023-08-28 11:01:53

r160610042

805-904-9048

I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations.

The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets,

1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance.

calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Signature:

PROPRESSOR

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	Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning sys
	a hole for the placement of a static pressure probe, or a permanently installed static pr
§ 150.0(m)13:	be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficac
	handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems mus
	cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verif
	Reference Residential Appendix RA3.3. *

Since of the control	Ventilation and Indoor Air Quality:	Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the
---	-------------------------------------	---

Pool and Spa Systems and Equipment:	Pool and St
rates and sound requirements per §150.0(o)1G	
must be verified per Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI or A	
and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appen	\$ 150.0(0)2:
Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented range	
minimum airflow rate required by §150.0(o)1C.	
Residential Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound per	
be measured by using a flow hood, flow grid, or other airflow measuring device at the fan's inlet o	
H8I: Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The	§ 150.0(o)1H&I:
§150.0(o)1GM.*	
continuous exhaust meeting §150.0(o)1Gii-iv. Airflow must be measured by the installer per §150	
controlled exhaust system meeting requirements of §150.0(o)1Gii, enclosed kitchens and bathroo	
 G: Local Mechanical Exhaust. Kitchens and bathrooms must have local mechanical exhaust; none 	§ 150.0(o)1G:
spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.	
 and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spa 	§ 150.0(o)1C:
Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouses.	
compliance with §150.0(o)1C.	
ventilation systems must have controls that track outdoor air ventilation run time, and either open	
prevents all airflow through the space conditioning duct system when the damper(s) is closed and	
D: dwelling unit ventilation airflow required per §150.0(o)1C. A motorized damper(s) must be installed	3 150,0(0)
Central Fan Integrated (CFI) Ventilation Systems. Continuous operation of CFI air handlers is	AE0.0/-14
Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments	3 130,0(0) 1
	E 450 00/20

	ventilation systems must have controls that track outdoor air ventilation run time, and either or
§ 150.0(o)1C:	Whole-Dwelling Unit Mechanical Ventilation for Single-Family Detached and townhouse and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces must have mechanical ventilation airflow specified in § 150.0(o)1Ci-iii.
§ 150.0(o)1G:	Local Mechanical Exhaust, Kitchens and bathrooms must have local mechanical exhaust, no controlled exhaust system meeting requirements of §150.0(o)1Gii, enclosed kitchens and bath confinuous exhaust meeting §150.0(o)1Gii-iv. Airflow must be measured by the installer per §150.0(o)1GM.*
§ 150.0(o)1H&I:	Airflow Measurement and Sound Ratings of Whole-Dwelling Unit Ventilation Systems. The measured by using a flow hood, flow grid, or other airflow measuring device at the fair's information Appendix RA3.7. Whole-Dwelling unit ventilation systems must be rated for sound minimum airflow rate required by \$150.0(o)10.
§ 150.0(o)2:	Field Verification and Diagnostic Testing. Whole-Dwelling Unit ventilation airflow, vented ra and HRV and ERV fan efficacy must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm if it is rated by HVI rates and sound requirements per §150.0(o)1G
ool and Spa Sys § 110.4(a):	ool and Spa Systems and Equipment: Certification by Manufacturers. Any pool or spa heating system or equipment must be certific with the Appliance Efficiency Regulations and listing in MAEDBS, an on-off switch mounted or the heater without adjusting the thermostat setting; a permanent weatherproof plate or card w use electric resistance heating."
§ 110.4(b)1: § 110.4(b)2:	Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches dedicated suction and return lines, or built-in or built-up connections to allow for future solar he Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.
§ 110.4(b)3:	Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adec switch that will allow all pumps to be set or programmed to run only during off-peak electric de pines that will allow all pumps to be set or programmed to run only during off-peak electric de
§ 110.5; § 150.0(p):	Pilot Lignt, watural gas poor and spa neaters must not have a continuously burning pilot ignt. Pool Systems and Equipment Installation. Residential pool systems or equipment must me sizing, flow rate, piping, filters, and valves.
ighting:	
§ 110.9:	Lighting Controls and Components. All lighting control devices and systems, ballasts, and irrequirements of § 110.9.
§ 150.0(k)1A:	Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A, exo range hoods, bath vanity mirrors, and garage door openers; navigation lighting less than 5 watts; and dosets with an efficacy of at least 45 lumers per watt.
150.0(k)1B:	Screw based luminaires. Screw based luminaires must contain lamps that comply with Refer
§ 150.0(k)1C:	Recessed Downlight Luminaires in Cellings. Luminaires recessed into cellings must not co and must be sealed with a gasket or caulk. California Electrical Code § 410.116 must also be made and must be sealed with a gasket or caulk.
§ 150.0(k)1D:	Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sour elevated temperature requirements, including marking requirements, must not be installed in e Blank Electrical Boxes. The rumber of electrical boxes that are more than five feet above the

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T24-601

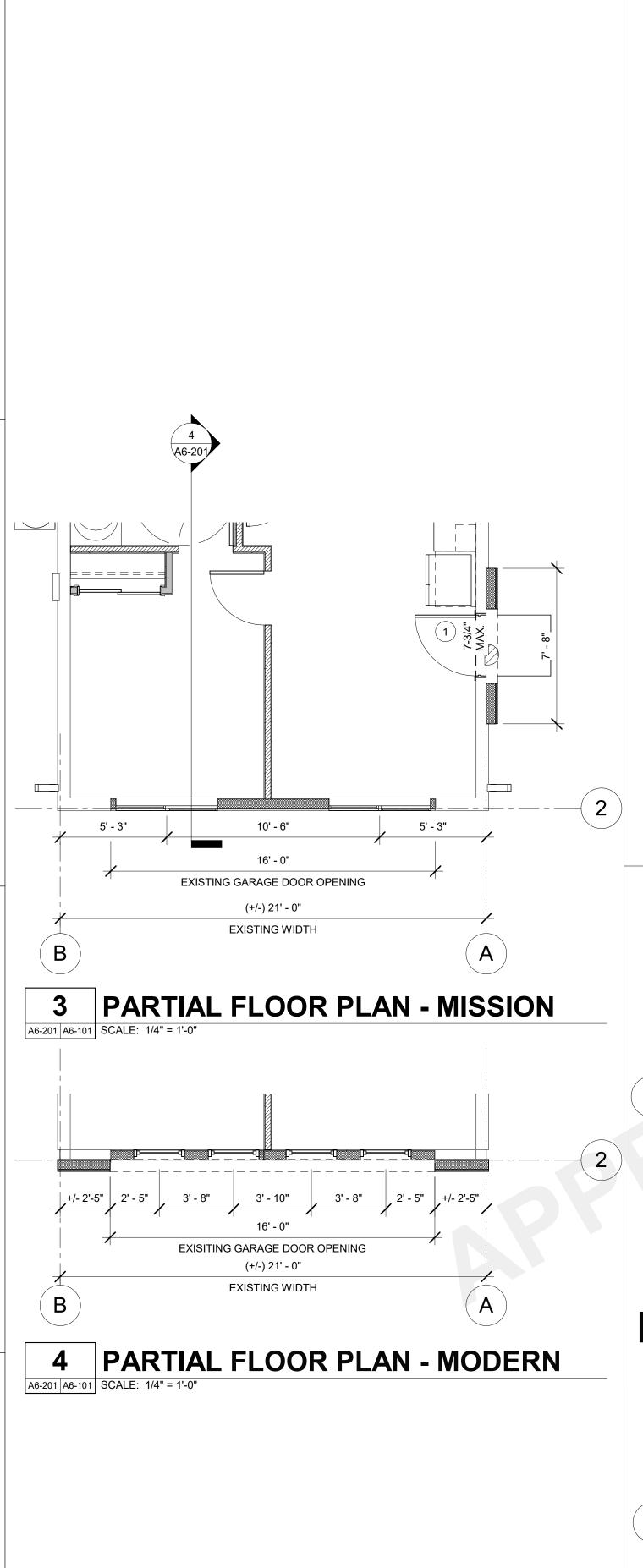
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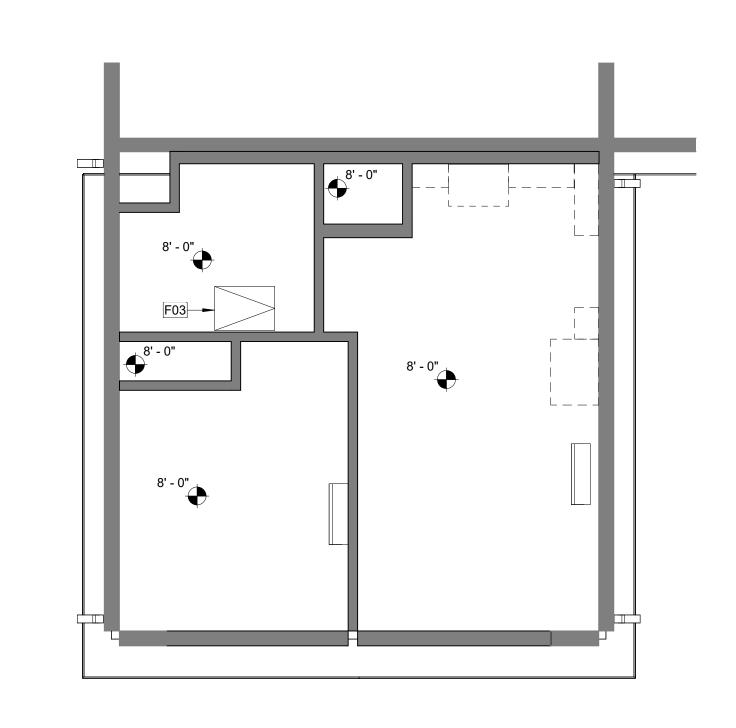
SITE PLAN TO BE PROVIDED BY APPLICANT SITE PLAN LEGEND SITE PLAN GENERAL NOTES REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION 3. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER 2022 CRC, SECTION 310.1. 4. NOT LESS THAN 30" OF CLEARANCE IN WIDTH, DEPTH, & HEIGHT SHALL BE PROVIDED TO ACCESS EXTERIOR MECHANICAL EQUIPMENT. SHOW WALLS/RETAINING WALLS LOCATION ON SITE PLAN & LABEL (2022 CMC SECTION 304.1 & 2022 CPC THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM SITE PLAN CHECKLIST AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE IF (N) ADU IS 5' - 0" OR LESS TO ANY PROPERTY LINE AND/OR ADU IS 10' - 0" OR LESS FROM ANY ADJACENT BUILDING OR STRUCTURE: UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION YES; IF YES, FIRE RATED WALL & ROOF REQUIRED PER 2022 CBC, CHAPTER 2. SEE DETAILS: 52/A-901 & 32/A-903 COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. OPTION 1 - NEW ELECTRICAL MAIN PANEL WITH 225 AMP MINIMUM BUSBAR RATING THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR OPTION 2 - A NEW ELECTRICAL SUBPANEL CONNECTS TO THE ELECTRICAL MAIN PANEL OF THE PRIMARY HOME WITH A 225 AMP MINIMUM DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE BUSBAR RATING. A SEPARATE ELECTRICAL PERMIT SHALL BE PULLED FOR THE ELECTRICAL MAIN PANEL OF THE PRIMARY HOME, ELECTRICAL STEP BY STEP INSTRUCTIONS IN THE FIELD. LOAD CALCULATIONS IS REQUIRED FOOTPRINT OF ALL EXISTING AND PROPOSED BUILDINGS DIMENSION BUILDING SEPARATION DIMENSION THE DISTANCE BETWEEN THE PROPOSED ADU AND ANY EXISTING PLOT THE PROPOSED ADU BUILDING FOOTPRINT ALONG WITH ANY OTHER EXISTING BUILDINGS ONSITE. THIS INCLUDES ALL STRUCUTRES / PORCHES / GAZEBOS. IF AN OPTIONAL COVERED PATIO IS SELECTED, PLEASE PLOT THAT LOT COVERAGE CALCULATION TOTAL FOOTPRINT AREA FOR STRUCTURES ON SITE / LOT AREA AREA OF EXISTING BUILDING INDICATE THE SQUARE FOOTAGE OF THE EXISTING HOUSE. ALL EXISTING SWIMMING POOLS SHALL BE SHOWN ON THE SITE PLAN AND SHALL FOOTPRINT OF PROPOSED ADU HAVE 10' MINIMUM SETBACK TO THE NEW ADU STRUCTURE. REFER TO LEGEND FOR FOOTPRINT AT 10'=1" SCALE DRAWING SCALE SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE. THERE SHALL BE NO MORE THAN 30 INCHES MEASURED VERITCALLY TO THE FLOOR OR GRADE BELOW (INCLUDING FLOORS, STAIRS, RAMPS, AND LANDINGS) ANYWHERE MEASURED LESS THAN 36 INCHES HORIZONTALLY TO THE EDGE OF SHOW OUTLINE OF PROPERTY USING DASHED LINE IN LEGEND. INDICATE THE THE PORCH/SLAB/SURFACE OF THE RAIL. INSECT SCREENING SHALL NOT BE BEARING AND DISTANCE OF THE PROPERTY LINE. CONSIDERED AS A GUARD. LABEL FRONT, REAR, SIDE YARDS, AS WELL AS DRIVEWAYS, PATHWAYS AND ANY LOCATION OF EXISTING UTILITIES OTHER HARDSCAPE. UTILITIES, POLES, SEWER, DRAINS, ELECTRICAL, GAS METERS AND LINES AND ANY PHOTOVOLTATIC. DIMENSION THE DISTANCE BETWEEN BUILDINGS AND PROPOERTY LINES, AS LOCATION OF PROPOSED UTILITIES WELL AS BUILIDNGS TO OTHER STRUCTURES. SETBACKS TO SIDE AND REAR PROPOSED UTILITIES SHALL CONFORM TO REQUIREMENTS OF CONTRA COSTA PROPERTY SIDE SHALL BE A MINIMUM OF (4' - 0"). COUNTY SANITARY DISTRICT. SANITARY SEWER FROM ADU TO EXISTING SEWER. SEWER LINE TO THE PROPOSED ADU SHALL BE CONNECTED TO THE MAIN LATERAL AT THE PROPERTY LINE OR BEHIND THE SIDEWALK. LATERAL REFER TO LEGEND. MUST INCLUDE ALL APPLICABLE EASEMENTS. PROPOSED POINT OF CONNECTION INCLUDING REQUIRED CLEANOUTS, WATER LINE TO ADU, ELECTRIC TO ADU INCLUDING ANY NEW METERS OR SUBPANELS. STRUCTURE SHALL COMPLY WITH EASEMENT REQUIREMENTS. LOCATION OF RAIN WATER LEADERS THE ROOF DRAINS SHOULD DRAIN AWAY FROM THE PROPERTY LINES AND INTO THE LANDSCAPE AREA. LABEL STREETS & SIDEWALKS NOTE: THIS IS AN EXAMPLE SITE PLAN. EXACT LAYOUT, DIMENSIONS, AND BEARINGS SHALL BE PROVIDED BY ADU TO ADJACENT PROPERTY LINE (WHEN UNDER 5' - 0," 1-HOUR FIRE-(N) NEW (E) EXISTING OWNER/APPLICANT. (E) STREET NAME (N) OPTION 1: NEW ELECTRICAL MAIN SETBACK LOCATION EXAMPLE; NOT LESS THAN 30" OF CLEARANCE IN WIDTH, (N) APPLICANT TO ILLUSTRATE AND ANNOTATE PROPOSED COVERED DEPTH, & HEIGHT SHALL BE PROVIDED TO ACCESS THE EQUIPMENT. (2022 CMC PORCHES, OVERHANGS, ENTRY(S), ADDRESS LOCATION, MECH. / ELEC. ITEMS NAME (N) ACCESSORY AND PROPOSED ACCESS POINTS ECTION 304.1) DWELLING UNIT EXAMPLE (N) OPTION 2: NEW ELECTRICAL SUBPANEL WITH 225 AMP MINIMUM BUSBAR RATING -(POTENTIAL LOCATION EXAMPLE) CENTERLINE OF IMAGINARY LINE BETWEEN THE TWO BUIDLINGS (UNDER— STREET 5' - 0" 1-HOUR FIRE-RATED WALL AND 1-HOUR FIRE-RATED EAVE REQUIRED). (E) SINGLE FAMILY RESIDENCE EXAMPLE (FOOTPRINT SF) XX' - XX" XX'-XX" (DISTANCE) (E) PROPERTY LINE SXX° XX'X"E XX' - XX" XX' - XX" 4' - 0" MIN. SETBACK **EXAMPLE SITE PLAN** SITE PLAN 1" = 20'-0" SCALE: **NORTH ARROW**

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GROUND FLOOR RCP

A6-201 A6-101 SCALE: 1/4" = 1'-0"

A6-201 A6-101 SCALE: 1/4" = 1'-0"

-VERIFY 5/8" DRYWALL ON BOTH SIDE OF WALL WHERE ABUTS EXISITING RESIDENCE, OTHERWISE PROVIDE TWO LAYERS 5/8" TYPE "X" ON NEW ADU CONVERSION SIDE IN ORDER TO ACCOMPLISH 1 HOUR RATING A6-202 A6-201 (3) | C01 KITCHEN/LIVING 4' - 7" **BEDROOM** 2 10' - 6" 5' - 3" 5' - 3" EXISTING GARAGE DOOR OPENING (+/-) 21' - 0" **EXISTING WIDTH**

FLOOR PLAN - FRONT FACING GARAGE DOOR

LEGEND

EXTERIOR- 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND STUCCO/SIDING PER ELEVATION, ONE LAYER GYPSUM WALL BOARD INTERIOR.



INTERIOR- 5 1/2" WOOD STUD W/ONE LAYER GYPSUM WALL

INTERIOR- 3 1/2" WOOD STUD W/ONE LAYER GYPSUM WALL BOARD EACH SIDE.

KEYNOTES

- REFRIGERATOR LOCATION. PROVIDE 37" SPACE WITH ROUGH
- PLUMBING FOR ICE MAKER (RECESS IN WALL). STACKED WASHER/DRYER MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX. PROVIDE DRYER VENT. VENT TO OUTSIDE AIR THROUGH EXTERIOR WALL. DRYER VENT 4" MIN VENT GATE. MAX LENGTH TO NOT EXCEED 14' WITH A MAX OF 2 90-DEGREE BENDS. TERMINATION SHALL BE 3' MINIMUM FROM OPERABLE OPENING IN EXTERIOR WALL.
- B04 LAVATORY SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- B05 WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- B08 30" x 60" x 72" TUB AND SHOWER COMBINATION. MODEL BY
- BUILDER. PROVIDE SHOWER ROD. C01 SINGLE WOOD SHELF AND POLE.
- C08 12" DEEP UPPER CABINET 24" DEEP UPPER CABINET.
- C13 SINK BASE CABINET AND COUNTERTOP."
- C14 36" A.F.F. COUNTERTOP

F03 22" X 30" MIN. ATTIC ACCESS.

WINDOW GENERAL NOTES

- REFER TO FLOOR PLANS FOR WINDOW LOCATIONS. 2. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO
- REFER TO ENERGY COMPLIANCE REPORTS FOR U-FACTOR, SHGC AND
- ADDITIONAL WINDOW REQUIREMENTS.
- ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX. SILL HEIGHT OF 44" AFF, MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT: 5 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24", WIDTH: 20". [2022 CRC SEC. R310.2]

WINDOWS TO MARCH EXISTING STYLE AND COLOR OF EXISTING HOME

WINDOW SCHEDULE

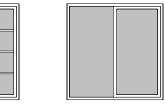
HEAD NO. TYPE WIDTH HEIGHT HEIGHT REMARKS

WINDOW REMARKS

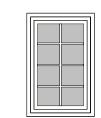
- THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. PER CBC 2022 SEC. 1031.3.2 SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44
- INCHES MEASURED FROM THE FLOOR. PER CBC 2022 SEC. 1031.3.3 TEMPERED / SAFETY GLAZING.

WINDOW LEGEND

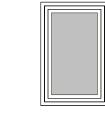


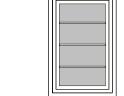






MISSION REVIVAL





CASEMENT

FLOOR PLAN NOTES

- DIMENSIONS ARE TO FACE OF FRAMING U.N.O
- 2. REFER TO STRUCTURAL PLANS FOR FURTHER FRAMING INFORMATION. 3. REFER TO ELECTRICAL & MECHANICAL PLANS FOR FURTHER INFORMATION. 4. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR
- COORDINATION PURPOSES ONLY. 5. FLOOR FINISHES TO BE DETERMINED BY THE PROPERTY OWNER. 6. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED
- SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL
- MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
- PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED CBC HEIGHT LIMITATION.



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AREAS

AREAS-PLAN 5	
SPACE	CONDITIONED AREA
PLAN 5-EXISTING FOOTPRINT OF GARAGE, AS SHOWN IN VIEW 1/A7-101	441 SF

DOOR GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS REFER TO PLANS FOR LOCATION OF DOORS. 3. VERIFY ROUGH OPENING SIZE WITH DOOR MANUFACTURER SPECIFICATIONS
- PRIOR TO CONSTRUCTION. 4. CONTRACTOR TO VERIFY ACTUAL DOOR SIZE TO FIT FINISH OPENING PRIOR
- TO FABRICATION OF DOOR AND FINISH OPENING. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 13/8 INCHES (35 MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 13/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS **2022 CRC** SECTION R302.5.1. DOORS SHALL BE SELFLATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATICCLOSING DEVICE.
- GLAZING IN DOORS SHALL BE TEMPERED PER SECTION R308.4.1. 7. DOORS TO MATCH STYLE AND COLOR OF EXISTING HOME.

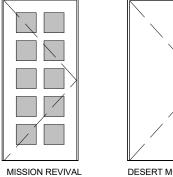
DOOR SCHEDULE

	SIZE			
TYPE	WIDTH	HEIGHT	FIRE RATING	REMARKS
		·		
С	2' - 8"	6' - 8"		
D	4' - 0"	6' - 8"		
С	2' - 8"	6' - 8"		
С	3' - 0"	6' - 8"		3
	C D C	TYPE WIDTH C 2' - 8" D 4' - 0" C 2' - 8"	TYPE WIDTH HEIGHT C 2' - 8" 6' - 8" D 4' - 0" 6' - 8" C 2' - 8" 6' - 8"	TYPE WIDTH HEIGHT FIRE RATING C 2' - 8" 6' - 8" D 4' - 0" 6' - 8" C 2' - 8" 6' - 8"

DOOR REMARKS

- GLAZING IN DOOR. TEMPERED (BOTH PANES) PROVIDE 100 SQ INCHES OF VENTING IN DOOR OR BY OTHER APPROVED
- 4. OPTIONAL DOOR.

DOOR LEGEND

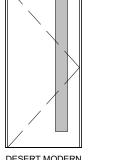


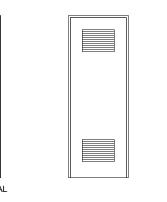
SOLID CORE

WOOD EXTERIOR

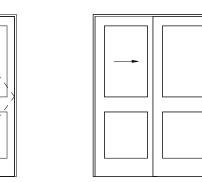
SINGLE HOLLOW

CORE INTERIOR





EXTERIOR - VENTED WATER CLOSET



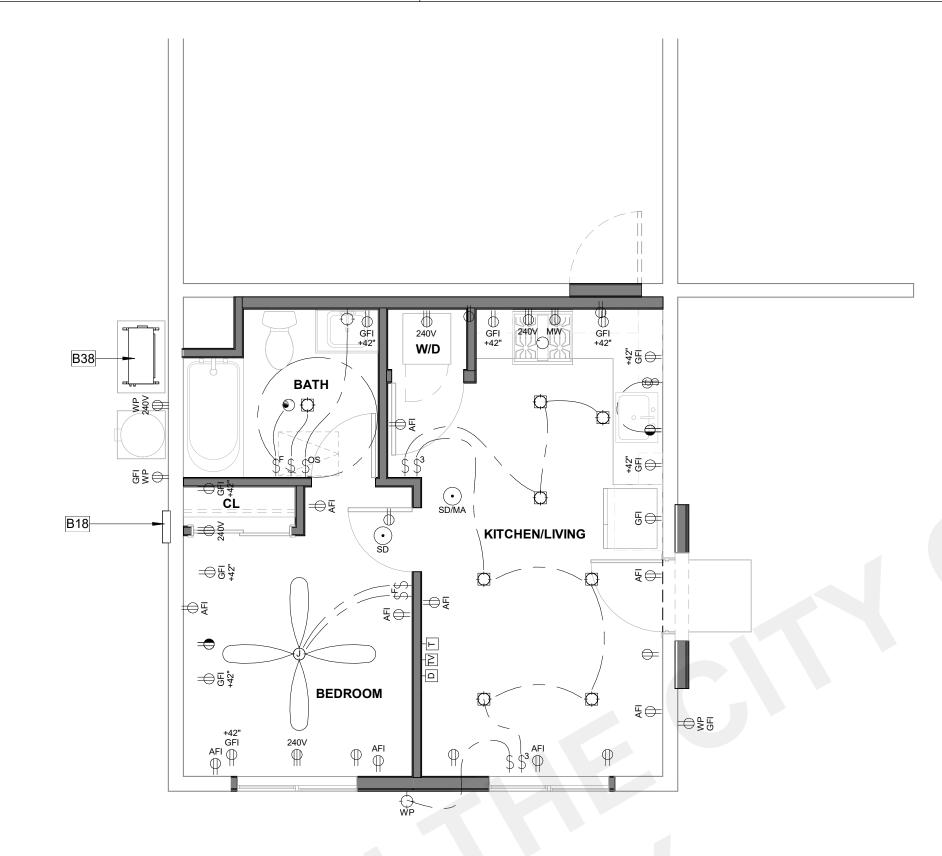
DOUBLE SLIDING SLIDING GLASS EXTERIOR.

SE PUBLIC

SHEET

DATE 01/11/24

A6-101



A6-201 A6-111 SCALE: 1/4" = 1'-0"

VENTILATION SUMMARIES 1) LOCAL EXHAUST VENTILATION

D,	ATHROOM	OPTION A	OPTION B
	BATHROOM FAN FLOW (cfm)	50 CFM	50 CFM
	DUCT TYPE	FLEX DUCT	SMOOTH DUC
	DUCT SIZE (in)	4"	4"
	MAX. ALLOWABLE DUCT LENGTH (ft)	70'	105'
	THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR S	COLIND AT A MAY OF	2 SONES
	THIS EXHAUGH AND NEGOTIVED TO BE NATED FOR S	SOUND AT A WAX. OF	3 SUNES.
<u>KI</u>	TCHEN	OPTION A	OPTION B
		OPTION A	
	TCHEN	OPTION A 100 CFM	OPTION B
	TCHEN KITCHEN FAN FLOW (cfm)	OPTION A 100 CFM FLEX DUCT	OPTION B 50 CFM

2) <u>WHO</u>	LE BUILDING VENTILATION	OPTION A	OPTION B
	PER ASHRAE STANDARD 62.2, CEC EQUATIO	N 150.0-B	
	BUILDING FAN FLOW (cfm)	50 CFM	50 CFM
	DUCT TYPE	. FLEX DUCT	SMOOTH DUC
	DUCT SIZE (in)	. 4"	4"
	MAX. ALLOWABLE DUCT LENGTH (ft)	. 70'	105"
	THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR	SOUND AT A MAX. OF	1 SONE.
	THIS EXHAUST FAN IS REQUIRED TO OPERATE CONT	TINUOUSLY TO ENSUF	RE
	CONTINUOUSLY TO ENSURE INDOOR AIR QUALITY.		

THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 3 SONES.

TOTAL (MINIMUM) REQUIRED VENTILATION RATE

PER ASHRAE STANDARD 62.2, CEC EQUATION 150.0-B

QCFM = .03(FLOOR AREA) + 7.5 (# OF BEDROOMS + 1)

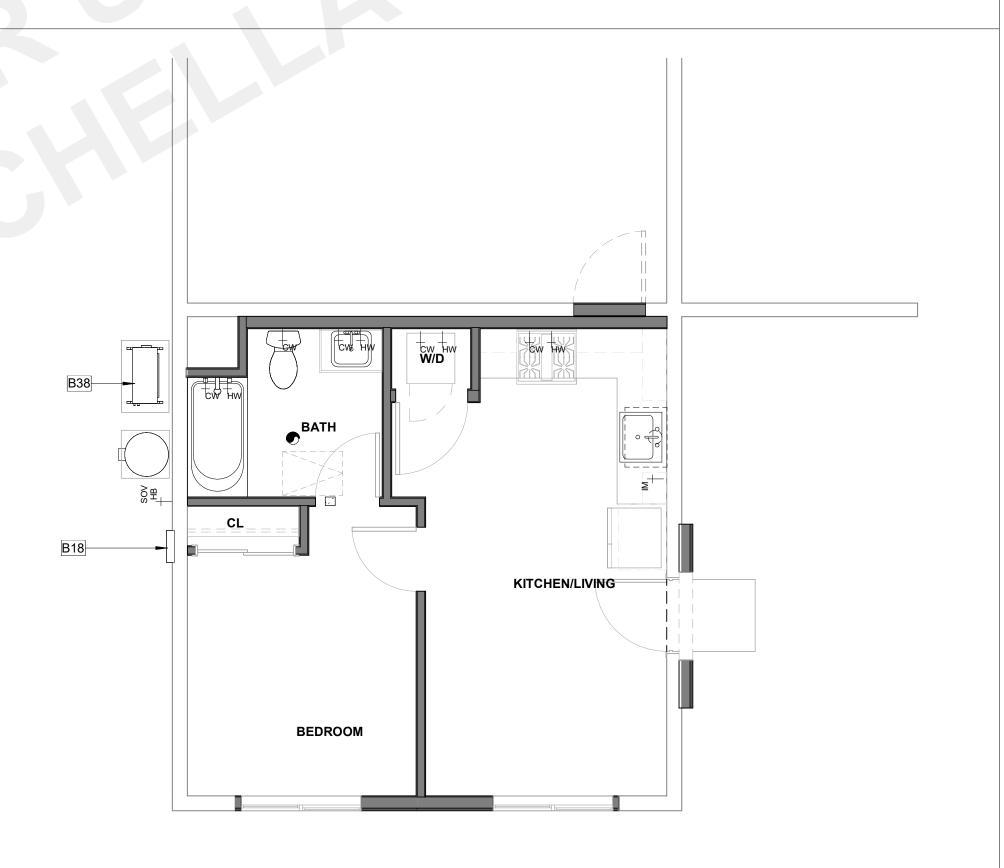
WHOLE DWELLING UNIT MECHANICAL VENTILATION PER SECTION 150.0(O)(C)(i) [ASHRAE 62.2:4.1.2] **1 BED** - MINIMUM CUBIC FEET PER MINUTE (CFM) (Equation 150.0-B) Qtot = 0.03Afloor + 7.5(Nbr + 1).03(sf) + 7.5 (1+1) = CFM < 50 CFM

EFFECTIVE ANNUAL AVERAGE INFILTRATION RATE PER SECTION 150.0(O)(C)(ii)

Q50 = Vdu (x) 2 ACH50 / 60minutes a. (Equation 150.0-C) Q50 = Vdu (x) Verified ACH50 / 60minutes a. (Equation 150.0-D) Qtot = 0.052 (x) Q50 x wsf x [H/Hr] z [ASHRAE] b. (Equation 150.0-E) 62.2:4.1.2.1]

REQUIRED MECHANICAL VENTILATION RATE
AND REQUIRED MECHANICAL VENTILATION RATE PER 150.0(O)(C)(iii) (Equation 150.0-F) Qfan = Qtot (-) ϕ (Qinf (x) Aext)

ELECTRICAL FLOOR PLAN



MECHANICAL FLOOR PLAN A6-201 A6-111 SCALE: 1/4" = 1'-0"

UTILITY GENERAL NOTES

REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS. 2. SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 3. SEE TITLE 24 REPORTS FOR ADDITIONAL INFORMATION.

KEYNOTES

ELECTRIC PANEL TBD.

MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE.



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PLUMBING FIXTURES

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING

THIS TABLE COMPILES THE DATA IN SECTION 4.303.1 AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

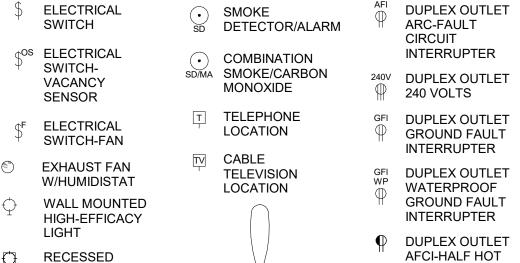
TABLE - MAXIMUM FIXTURE WATER USE				
FLOW RATE				
1.8 GMP @ 80 PSI				
MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI				
0.5 GPM @ 60 PSI				
1.8 GPM @ 60 PSI				
0.25 GAL/CYCLE				
1.28 GAL/FLUSH				
0.125 GAL/FLUSH				

RCP NOTES

- 1. HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING
- 2. ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL ELECTRICAL PLAN.
- 3. REFER TO ARCHITECTURAL ELECTRICAL PLANS FOR FURTHER INFORMATION.
- 4. REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION. 5. REFER TO FLOOR PLAN FOR ELEVATION AND SECTION REFERENCES.

LEGEND

NOTE: ALL OUTDOOR OUTLETS SHALL HAVE GFCI PROTECTION AND WEATHERPROOF COVERS.



RECESSED HIGH-EFFICACY DOWNLIGHT

CEILING HEIGHT

RECESSED

VP HIGH-EFFICACY DOWNLIGHT VAPOR PROOF ELECTRICAL

WIRING

CEILING FAN OPTIONAL PRE WIRE FOR CEILING FAN ONLY)

LHB WATER HOSE BIBB

WITH SHUT OF VALVE 22"X30" MIN. **CEILING ACCESS** PANEL

COLD WATER

STUB OUT

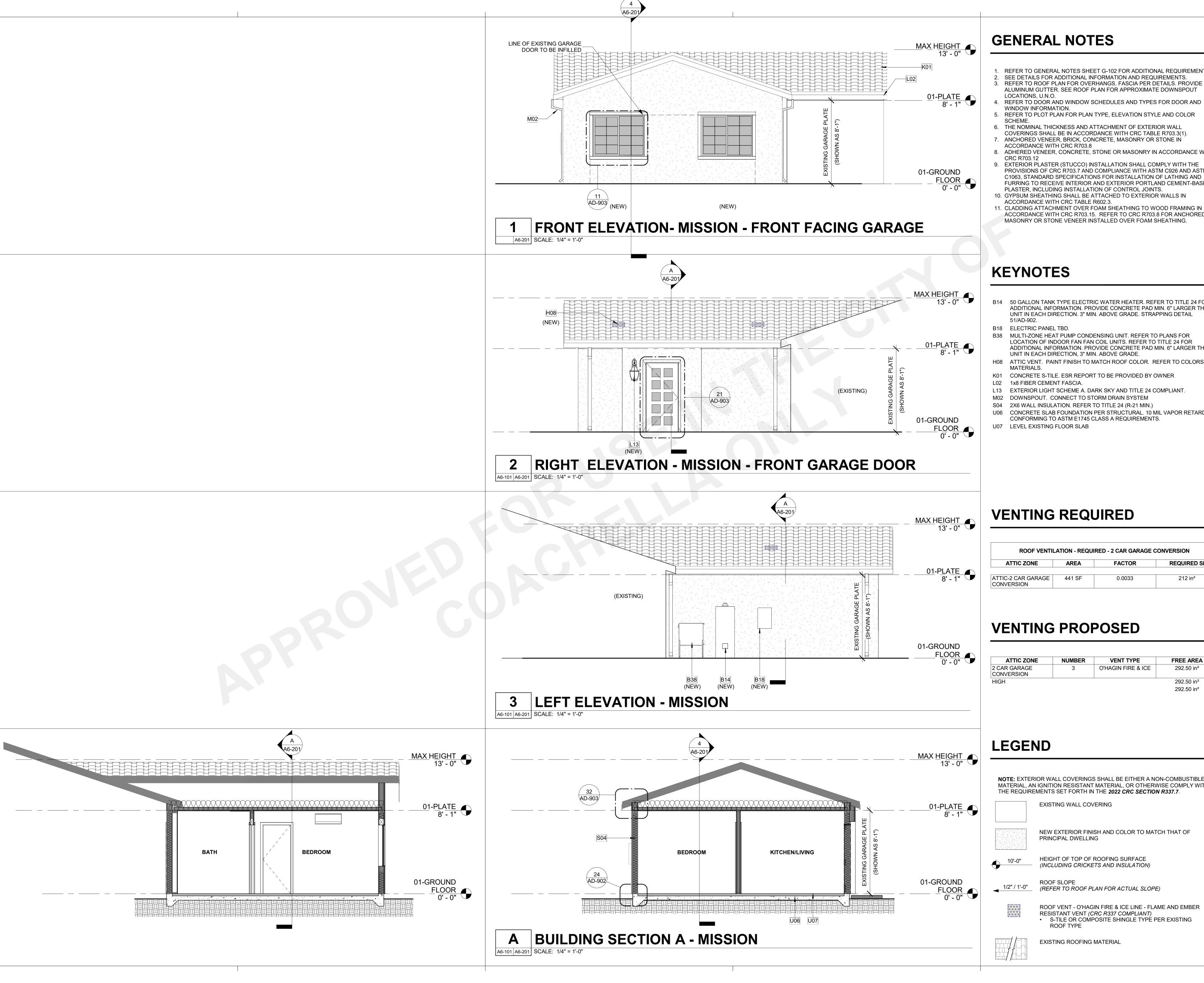
HOT WATER

STUB OUT

WATER HOSE BIBB 01/11/24 S SHEET

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A6-1



GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS. REFER TO ROOF PLAN FOR OVERHANGS. FASCIA PER DETAILS. PROVIDE
- ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
- REFER TO PLOT PLAN FOR PLAN TYPE, ELEVATION STYLE AND COLOR
- THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1). ANCHORED VENEER, BRICK, CONCRETE, MASONRY OR STONE IN
- ACCORDANCE WITH CRC R703.8 8. ADHERED VENEER, CONCRETE, STONE OR MASONRY IN ACCORDANCE WITH
- 9. EXTERIOR PLASTER (STUCCO) INSTALLATION SHALL COMPLY WITH THE PROVISIONS OF CRC R703.7 AND COMPLIANCE WITH ASTM C926 AND ASTM C1063, STANDARD SPECIFICATIONS FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER, INCLUDING INSTALLATION OF CONTROL JOINTS.
- ACCORDANCE WITH CRC TABLE R602.3.
- 11. CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS, NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

KEYNOTES

- B14 50 GALLON TANK TYPE ELECTRIC WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. STRAPPING DETAIL
- B18 ELECTRIC PANEL TBD.
- B38 MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN
- H08 ATTIC VENT. PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND
- K01 CONCRETE S-TILE. ESR REPORT TO BE PROVIDED BY OWNER
- L02 1x8 FIBER CEMENT FASCIA.
- L13 EXTERIOR LIGHT SCHEME A. DARK SKY AND TITLE 24 COMPLIANT.
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- U06 CONCRETE SLAB FOUNDATION PER STRUCTURAL. 10 MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS.
- U07 LEVEL EXISTING FLOOR SLAB

VENTING REQUIRED

ROOF VENTILATION - REQUIRED - 2 CAR GARAGE CONVERSION				
ATTIC ZONE	AREA	FACTOR	REQUIRED SI	
ATTIC-2 CAR GARAGE CONVERSION	441 SF	0.0033	212 in²	

VENTING PROPOSED

ATTIC ZONE	NUMBER	VENT TYPE	FREE AREA
2 CAR GARAGE CONVERSION	3	O'HAGIN FIRE & ICE	292.50 in ²
HIGH	•		292.50 in ²
			202 50 in ²

NOTE: EXTERIOR WALL COVERINGS SHALL BE EITHER A NON-COMBUSTIBLE MATERIAL, AN IGNITION RESISTANT MATERIAL, OR OTHERWISE COMPLY WITH THE REQUIREMENTS SET FORTH IN THE 2022 CRC SECTION R337.7

EXISTING WALL COVERING

NEW EXTERIOR FINISH AND COLOR TO MATCH THAT OF PRINCIPAL DWELLING HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CRICKETS AND INSULATION)

ROOF SLOPE (REFER TO ROOF PLAN FOR ACTUAL SLOPE)

ROOF VENT - O'HAGIN FIRE & ICE LINE - FLAME AND EMBER RESISTANT VENT (CRC R337 COMPLIANT)

• S-TILE OR COMPOSITE SHINGLE TYPE PER EXISTING



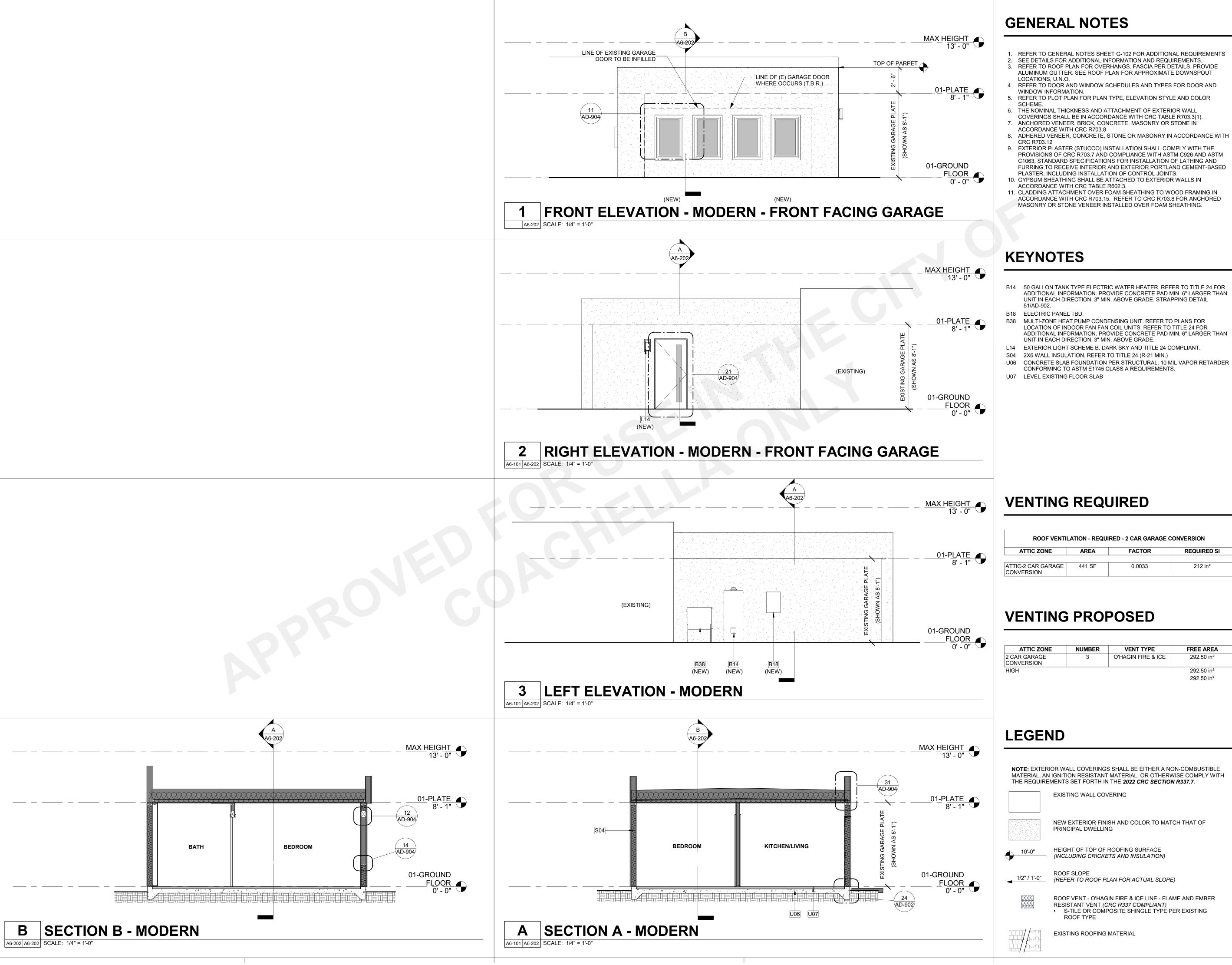
EXISTING ROOFING MATERIAL

ADU CA CA ELEVATIONS & SECTIONS PLAN 6 - MISSION PROTOTY GARAGE COACHEL

01/11/24

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ROOF VENT - O'HAGIN FIRE & ICE LINE - FLAME AND EMBER

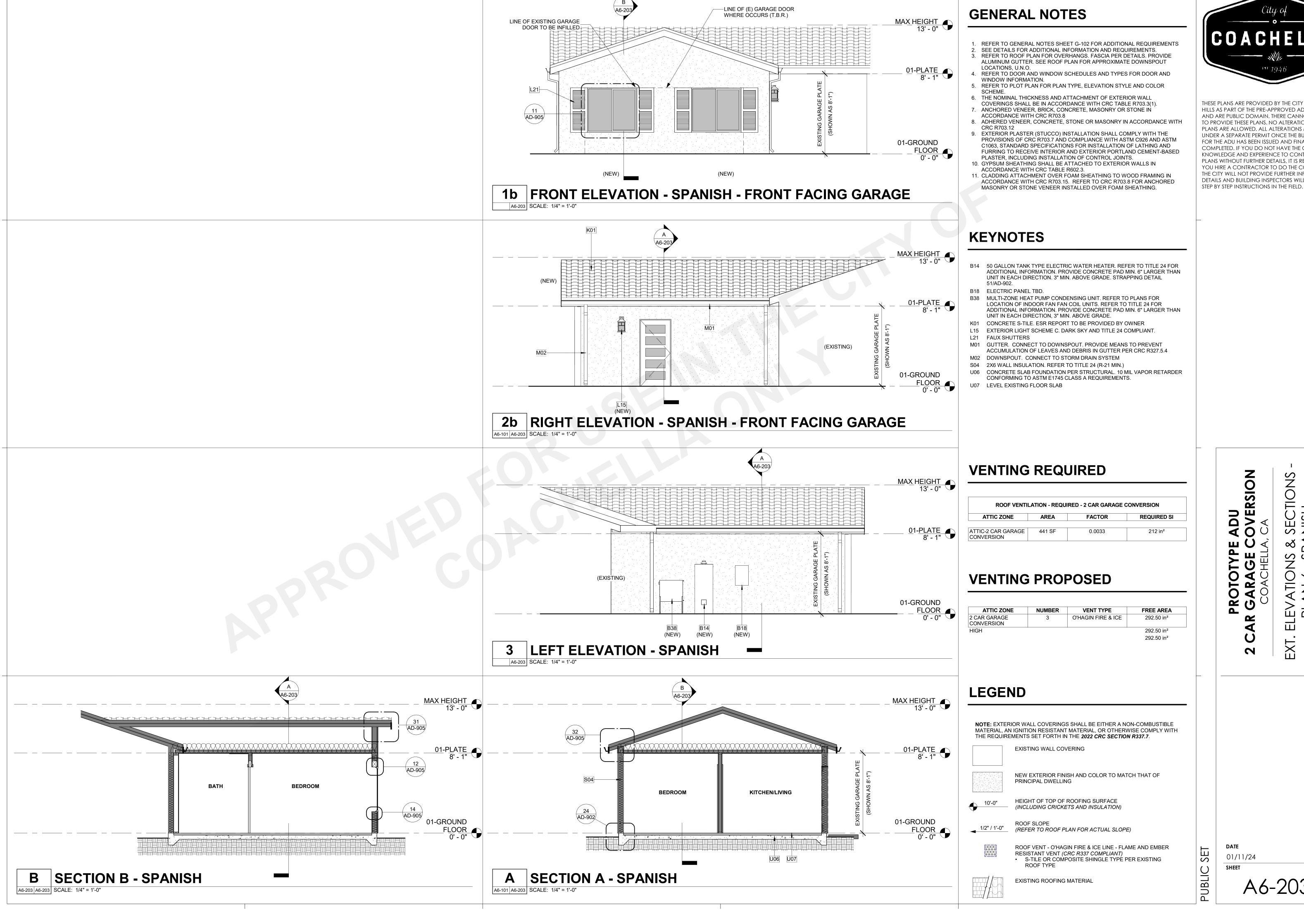
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ROTOTYPE CARAGE COACHELLA,

ELEVATIONS & SECTIONS PLAN 6 - MODERN

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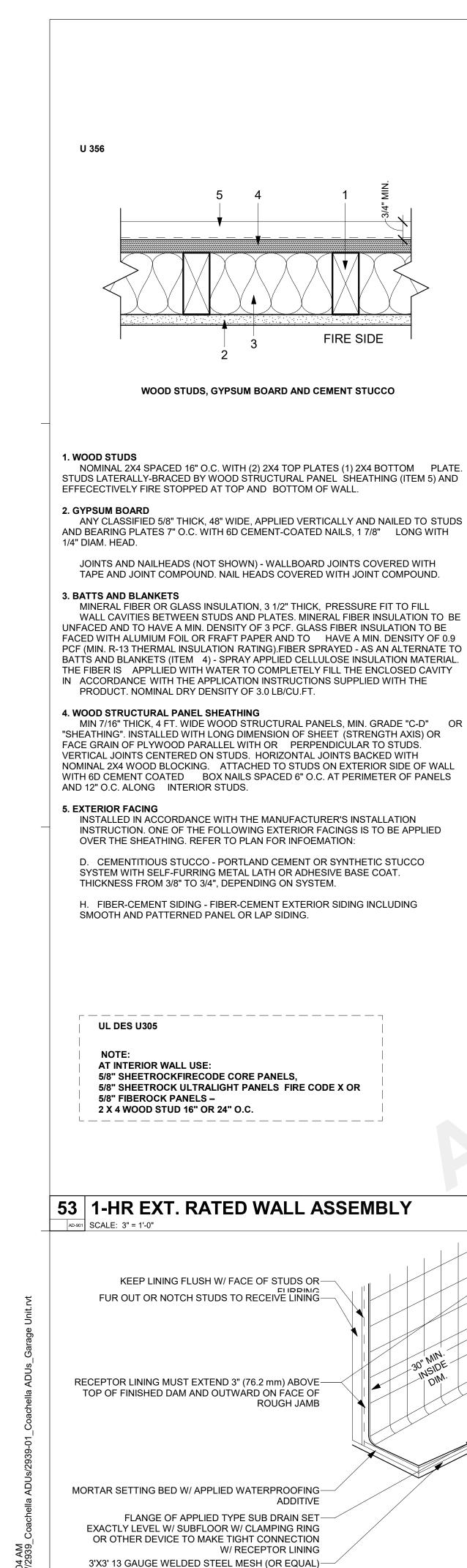


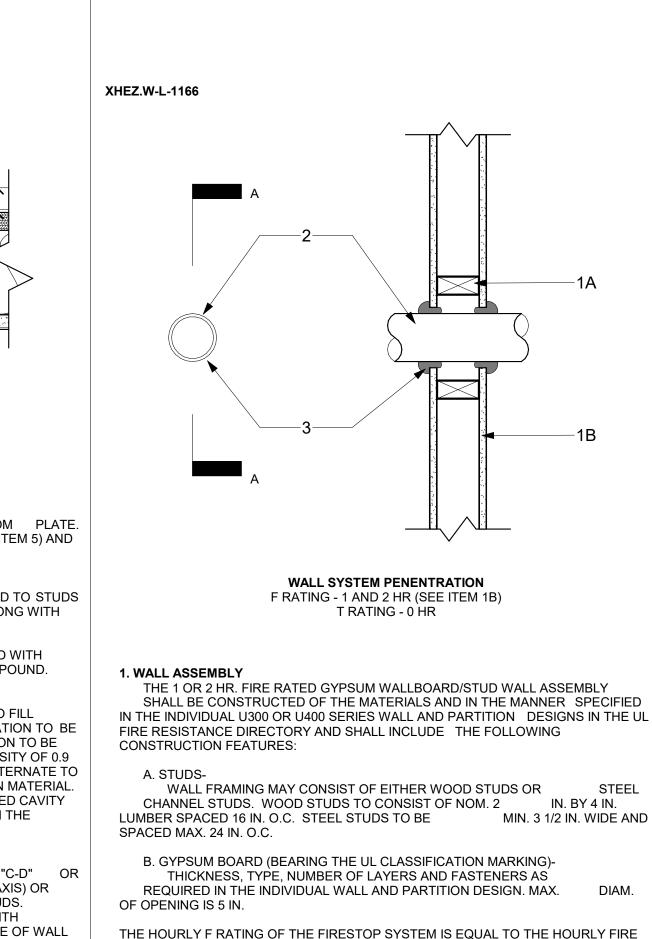
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ONS & SECTIONS 6 - SPANISH

ELEVATION PLAN





RATING OF THE WALL ASSEMBLY IN WHICH IT IS INSTALLED.

2. THROUGH-PENETRANTS

OR TUBING MAY BE USED:

A. COPPER TUBING-

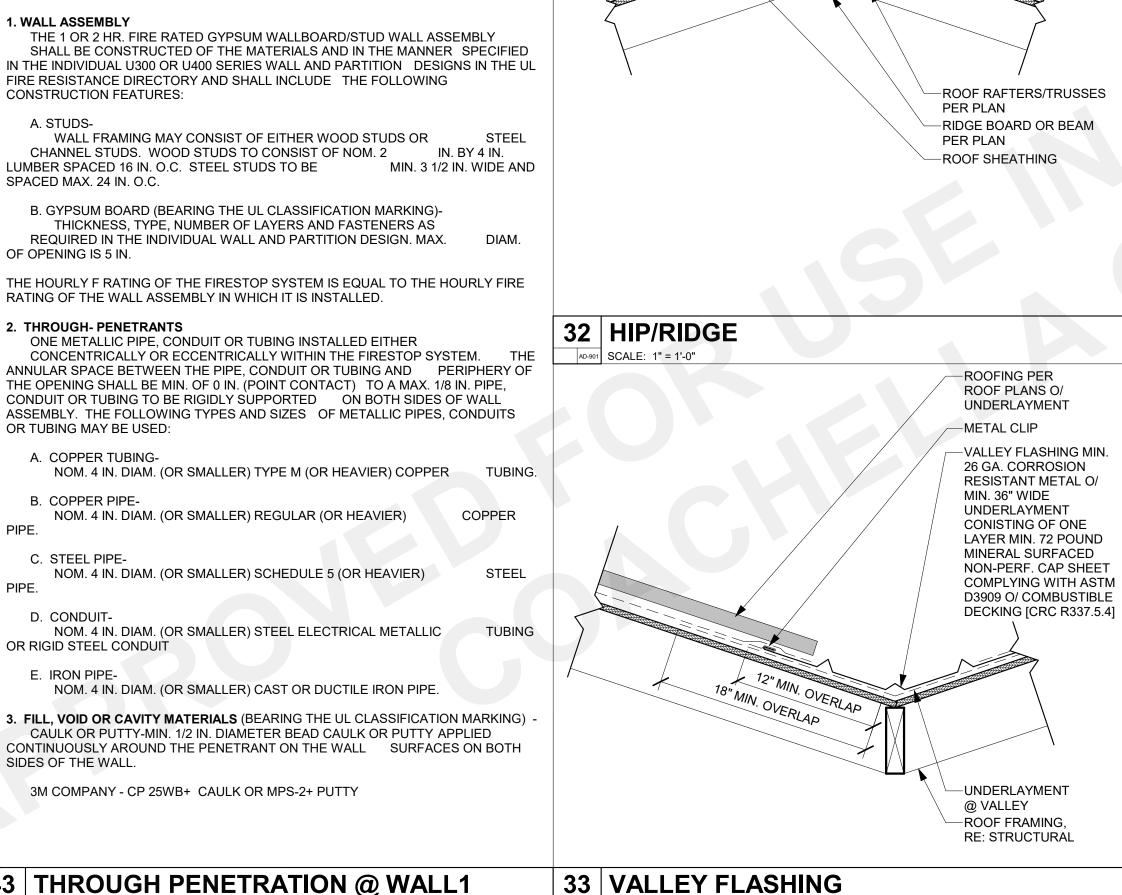
C. STEEL PIPE-

D. CONDUIT-

E. IRON PIPE-

SIDES OF THE WALL.

OR RIGID STEEL CONDUIT



AD-901 SCALE: 3" = 1'-0"

2X FRAMING: RE:STRUCTURAL

PLYWOOD SHEATHING:

FULLY COVER OPENING W/

METAL WIRE MESH. OPENINGS

DIMENSIONS SHALL BE A MIN. OF 1/16" & SHALL NOT EXCEED

RE: STRUCTURAL 2X BLOCKING

1/8" (R.327.6.2)

WALL VENT

PREMANUFACTURED

-WINDOW FLASHING

O/ BUILDING PAPER

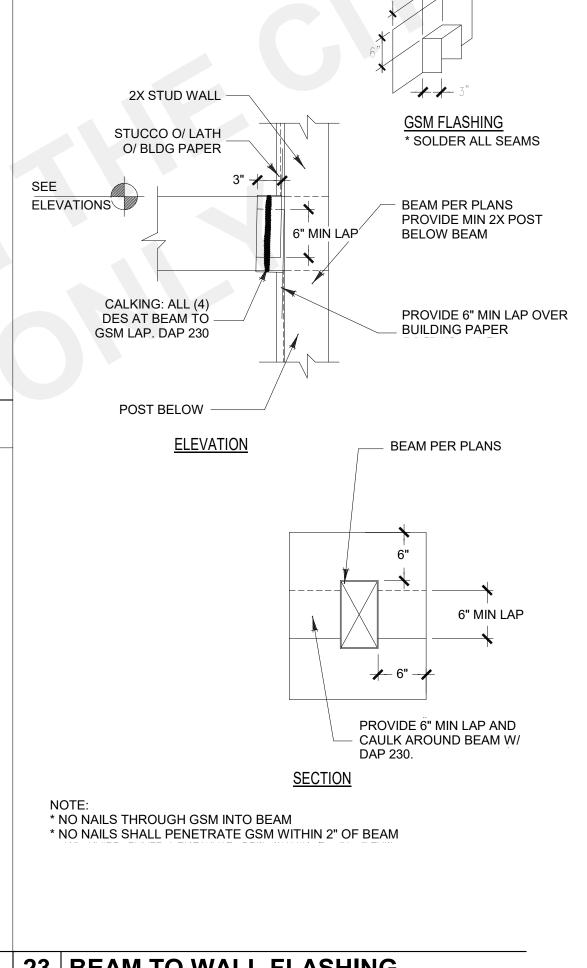
OVER BUILDING PAPER

-CEMENT PLASTER STUCCO

-ROOFING PER ROOF PLAN

ROOFING UNDERLAYMENT

CONTINUOUS NAILER



21 MOUNTING PAD

AD-901 SCALE: 3" = 1'-0"

-CEMENT PASTER STUCCO

-WATER RESISTIVE BARRIER PER CRC 703.7.3, LAP

BARRIER, LAP 6" ALL SIDES

-FIBER CEMENT BOARD TRIM W/

O/BUILDING PAPER

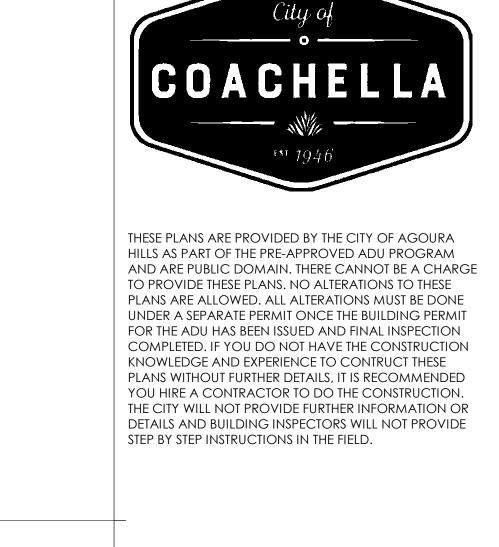
-WEATHER RESISTANT

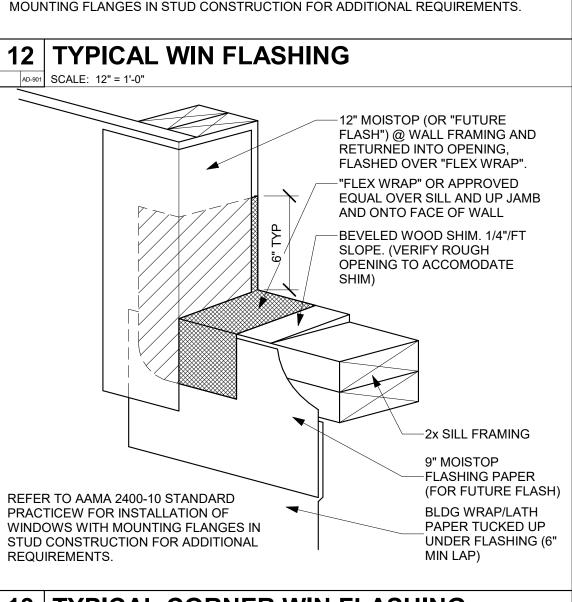
CHAMFERED EDGES

SIGNAGE OR DEVICE

-ATTACHED HARDWARE

FLASHING





REFER TO AAMA 2400-10 STANDARD PRACTICEW FOR INSTALLATION OF WINDOWS WITH

FLASH'G PAPER, MOISTOP FLASHING OR-

(1) AT TOP OF FLSH'G PAPER TYP NAIL'G

EQUAL, (9" WIDE MIN.) O/ NAIL'G FIN @ TOP OF WINDOWS (HEAD) TYP. TWO CONTINUOUS BEADS OF MOISTOP SEALANT OR EQUAL

UNDER FLASH'G PAPER (1) O/ NAIL'G FIN AND

FLASH'G PAPER, MOISTOP FLASHING OR

EQUAL, (9" WIDE MIN.) O/ WOOD FRM'G &

UNDER NAIL'G FIN @ SIDE OF WINDOWS-

1 = INDICATES SEQUENCE FOR (JAMB) TYP.

9" MOIST STOP FLASHING PAPER TYP. OF

THE ACTUAL NUMBER OF FLASH'G. PIECES

REQUIRED IS DETERMINED BY THE RADIUS OF

THE OPEN'G AND THE SIZE OF THE FLASH'G.

APPLY A CONTINUOUS BEAD OF SEALANT

BACKSIDE (INTERIOR) OF THE WINDOW

AT WINDOW HEAD, JAMBS AND SILL ALL

FASTENERS SHALL BE WITHIN 10" FROM

CORROSIVE RESISTANT FASTENERS ARE TO

NO NAILS SHALL BE BENT OVER THE NAILING

BE NAILED THROUGH FIN NO CLOSER THAN 3"

COMPLYING WITH AAMA 800 TO THE

O.C. AND NOT MORE THAN 16" O.C..

INSTALLATION.

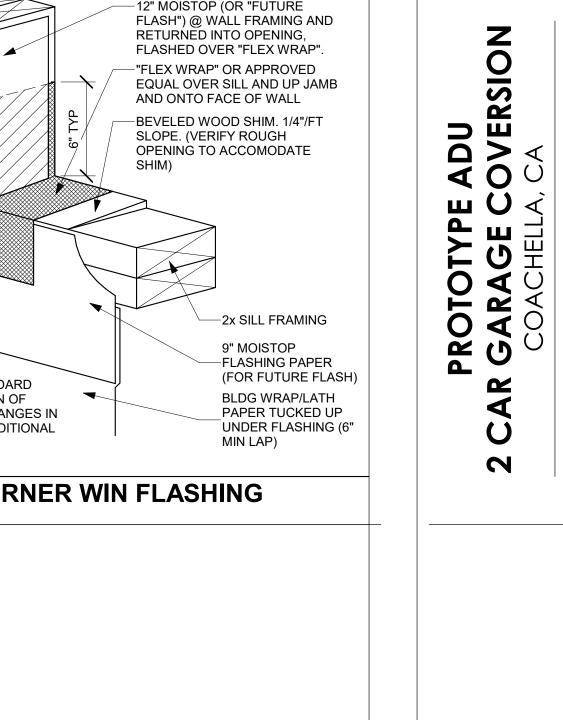
FLASH'G PAPER

(9" WIDE FLASH'G MIN.)

MOUNTING FLANGES

FIN TO SECURE WINDOW

CORNERS.



WINDOW

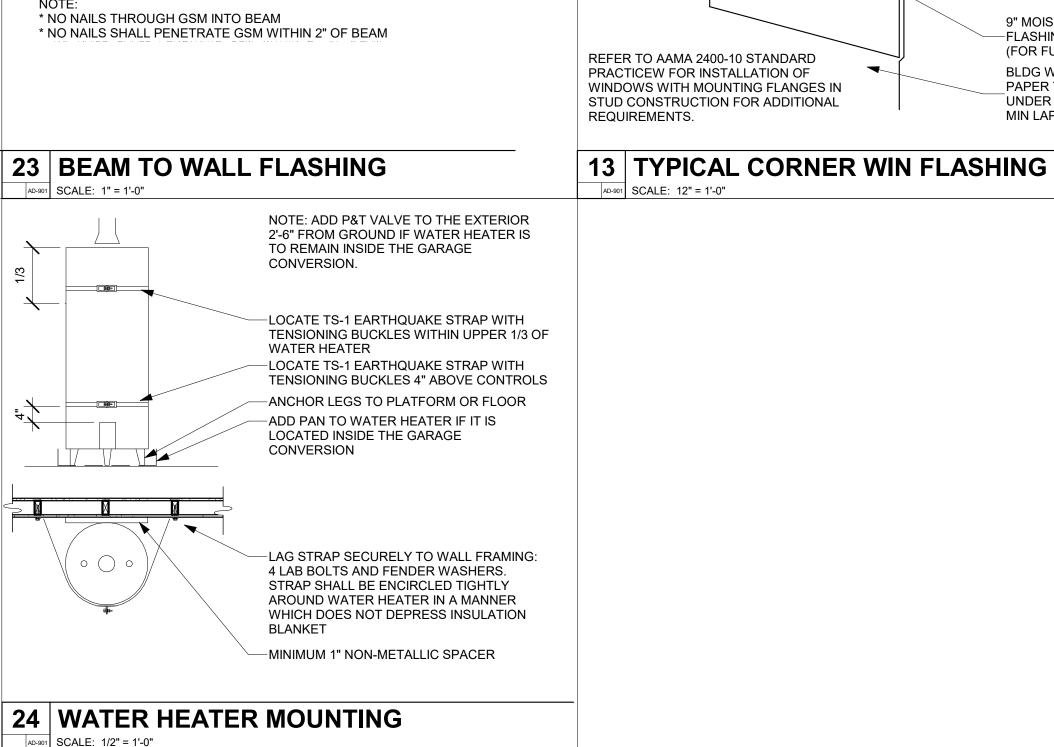
WINDOW

REFER TO TYPICAL

CORNER WINDOW

FOR ADDT'L INFO.

—FLASHING DETAIL





DATE 01/11/24 S SHEET **PUBLIC**

43 THROUGH PENETRATION @ WALL1

3M COMPANY - CP 25WB+ CAULK OR MPS-2+ PUTTY

NOM. 4 IN. DIAM. (OR SMALLER) REGULAR (OR HEAVIER)

-FINISH HEIGHT OF DAM TO BE AT LEAST 2" (50.8mm) ABOVE HIGH POINT OF DRAIN -RECEPTOR LINING TURNED OVER DAM & THOROUGHLY TACKED OUTSIDE. NO PUNCTURES LESS THAN 1" ABOVE THE FINISHED DAM OR THRESHOLD ON THE INTERIOR AND TOP OF DAM OR RECEPTOR LINING SHALL BE PITCHED NOT LESS THAN 1/4" PER FOOT (20.8mm/M) TO WEEP HOLES IN RECEPTOR LINING 3 LAYERS OF 15 LB ASPHALT SATURATED ROOFING FELT, EACH LAYER THOROUGHLY MOPPED W/ HOT ASPHALT, ALL

CORNERS THOROUGHLY WATER TIGHT BY LAPPING AND FLASHING (OR APPROVED EQUAL) AND REINFORCED W/ 50LB TEAR STRENGTH WOVEN GLASS FIBER WEBBING HOT MOPPED IN PLACE AND EXTENDING 4" IN ALL DIRECTIONS FROM EACH

NOTE: REFER TO C.P.C. FOR

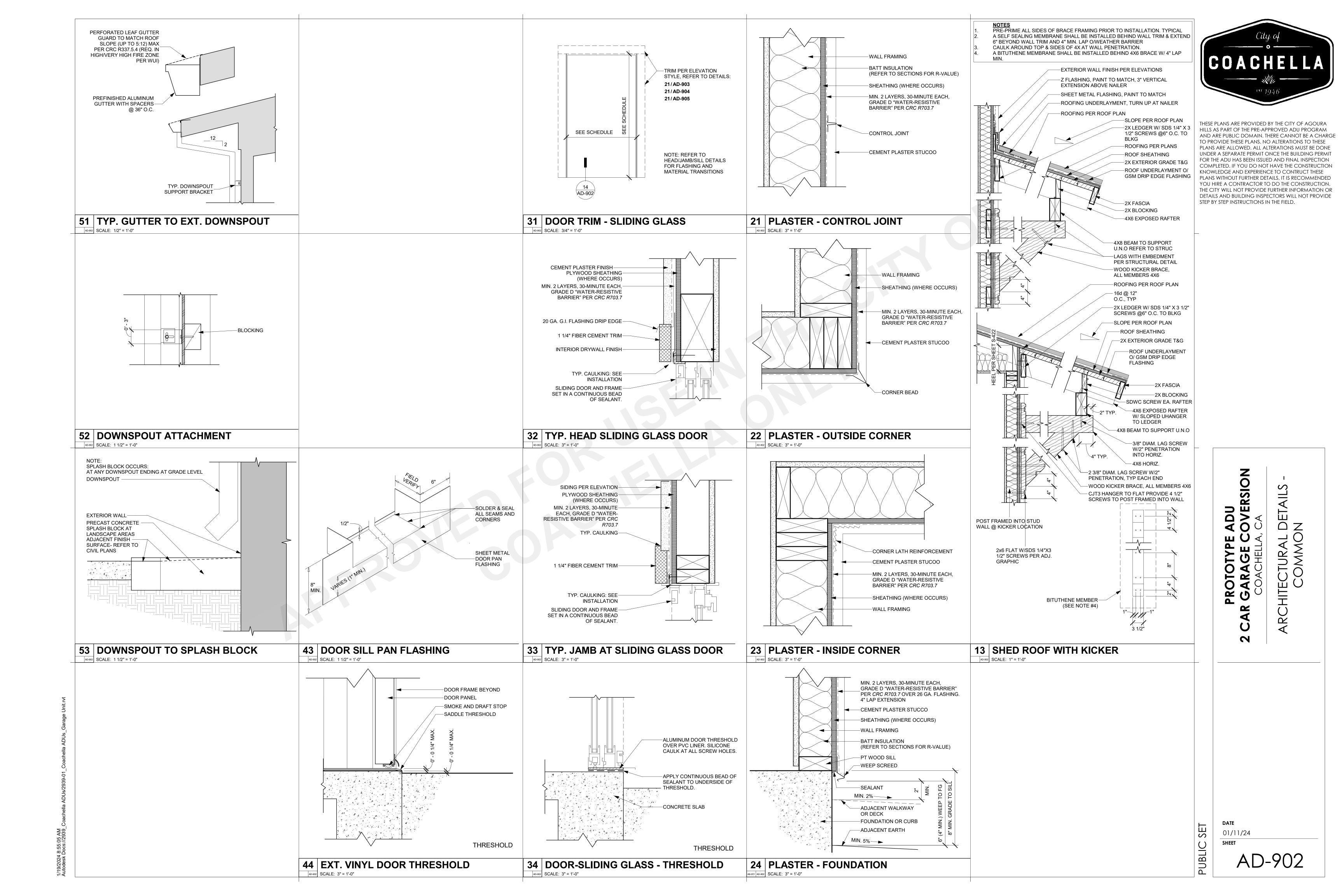
COMPLETE INFORMATION

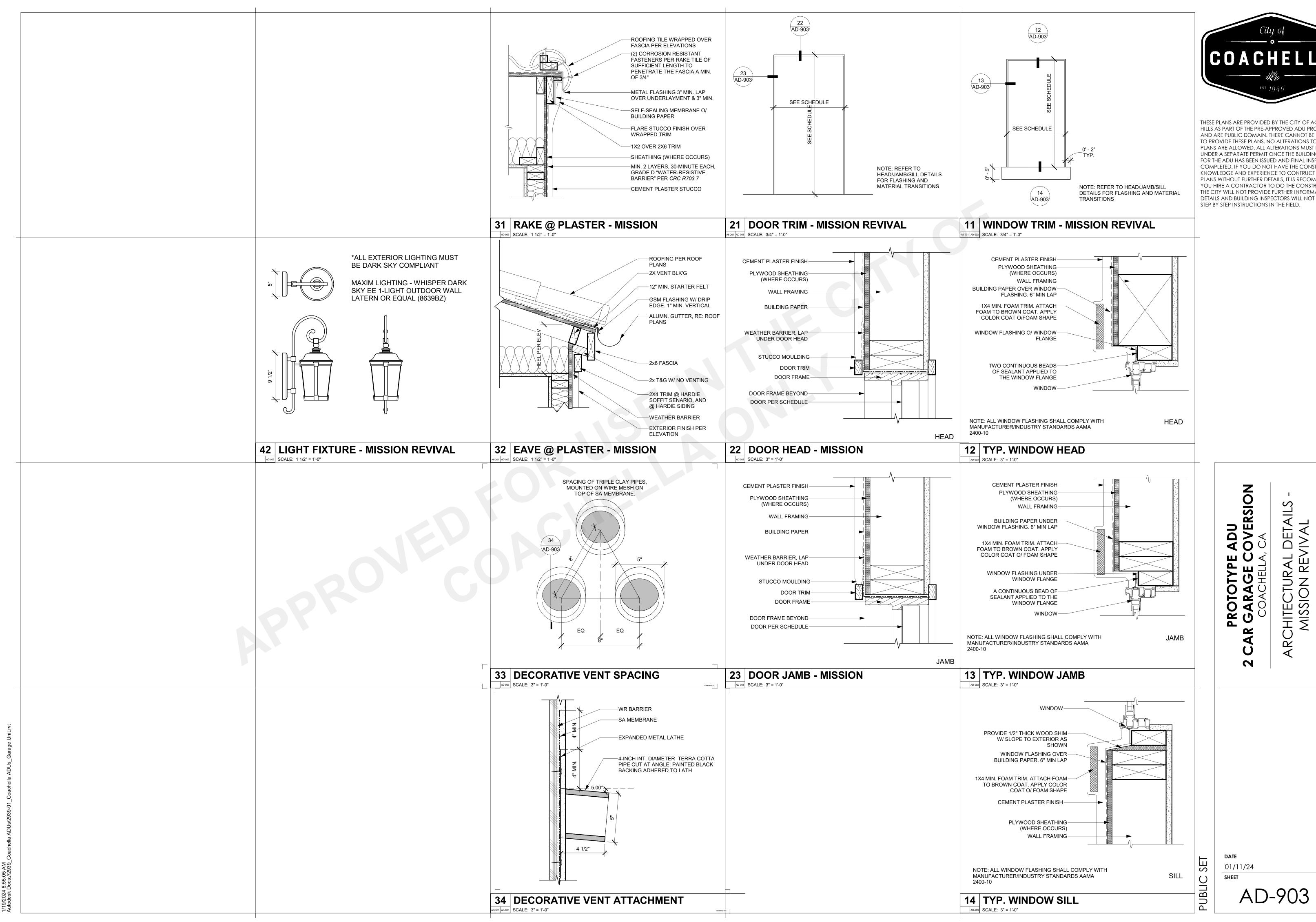
-MIN. OF 0.05 INCH THICKNESS STRAINER -FINISH FLOOR TO HAVE 1/4" MIN. TO 1/2" MAX SLOPE OT DRAIN PER FOOT

AD-901 SCALE: 1 1/2" = 1'-0"

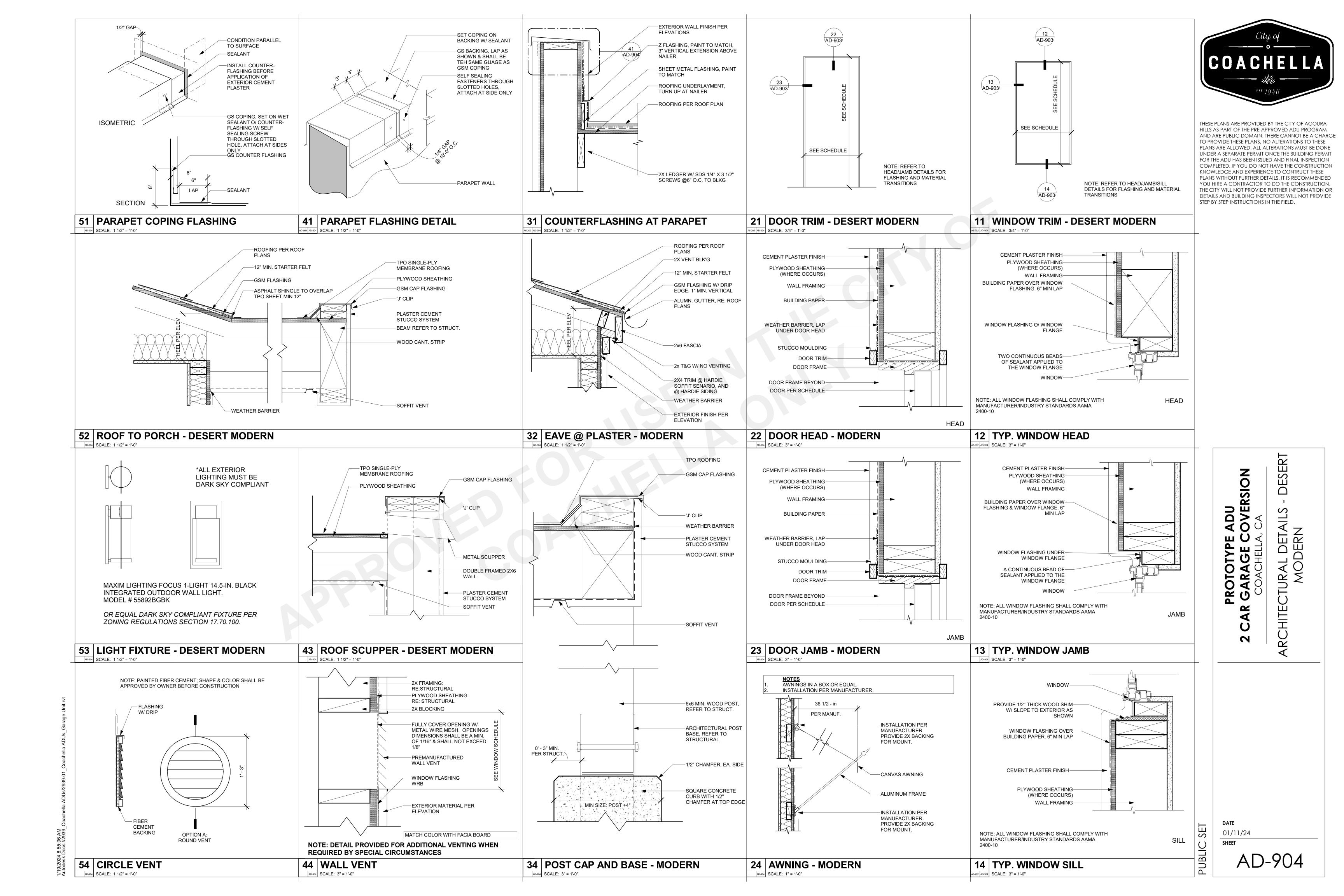
54 | SHOWER - RECEPTOR AD-901 SCALE: 12" = 1'-0"

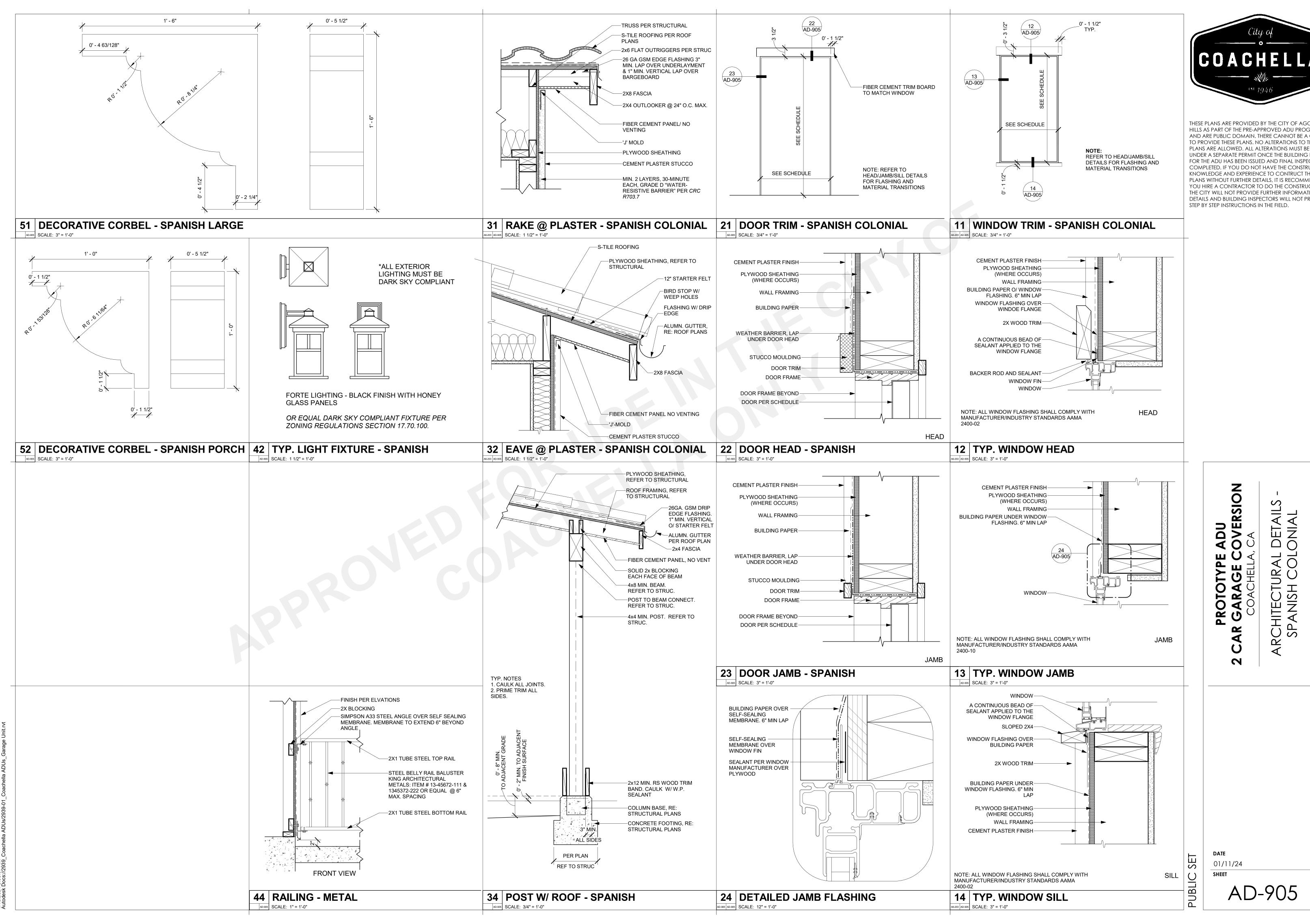
SET APPROX. CENTER OF BED



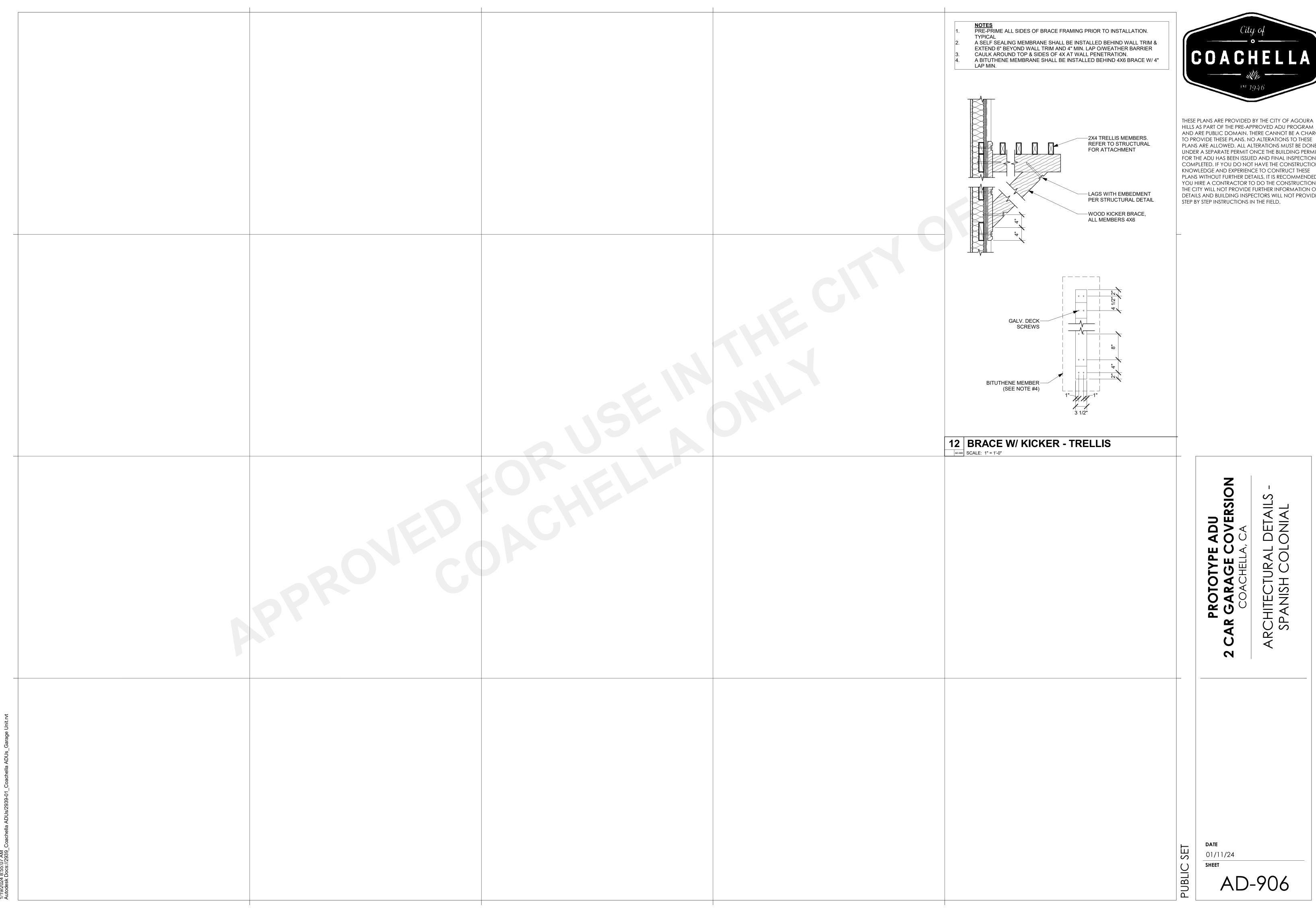


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