

**1**

# **FRONT ELEVATION- MISSION - FRONT FACING GARAGE**

A6-201 SCALE: 1/4" = 1'-0"



THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONTRACT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

# PROTOTYPE ACCESSORY DWELLING UNIT PLAN 6: 2 CAR GARAGE CONVERSION

CITY OF COACHELLA, CA

STREET ADDRESS (TO BE PROVIDED BY OWNER)

## ABBREVIATIONS

Table of abbreviations including ACOUS, AD, AFF, ALT, ALUM, APPROX, ARCH, B.O., BLC, BD, BET, BLDG, BLDG, BLKG, BLW, BM, BOT, BRKT, BULKHD, BUR, C.G., CAB, CALK, CEM, CER, CJ, CLG, CLDG, CLR, CO, COL, CONC, CONT, CPT, CT, CTR, DBL, DET, DIA, DIM, DN, DR, DS, DW, DWG, E, EA, EFS, ELEC, ELEV, EMER, ENCL, EQ, EQUIP, ETR, EW, EXP, EXST, F.O., FA, FAP, etc.

## GENERAL NOTES

- 1. APPLICABLE CODES AND STANDARDS: 1.1. 2022 CALIFORNIA BUILDING CODE AND ITS APPENDICES AND STANDARDS. 1.2. 2022 CALIFORNIA PLUMBING CODE AND ITS APPENDICES AND STANDARDS. 1.3. 2022 CALIFORNIA MECHANICAL CODE AND ITS APPENDICES AND STANDARDS. 1.4. 2022 CALIFORNIA FIRE CODE AND ITS APPENDICES AND STANDARDS. 1.5. 2022 CALIFORNIA ELECTRICAL CODE AND ITS APPENDICES AND STANDARDS. 1.6. 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS. 1.7. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE AND ITS APPENDICES AND STANDARDS. 1.8. 2022 CALIFORNIA RESIDENTIAL CODE AND ITS APPENDICES AND STANDARDS. 1.9. CURRENT CITY OF COACHELLA, CA MUNICIPAL CODE. 2. ALL WORK DESCRIBED IN THE DRAWINGS SHALL BE VERIFIED FOR DIMENSION, GRADE, EXTENT AND COMPATIBILITY WITH EXISTING SITE CONDITIONS. ANY DISCREPANCIES AND UNEXPECTED CONDITIONS THAT AFFECT OR CHANGE THE WORK DESCRIBED IN THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT PROCEED WITH THE WORK IN THE AREA OF DISCREPANCIES UNTIL ALL SUCH DISCREPANCIES ARE RESOLVED. IF THE CONTRACTOR CHOOSES TO DO SO, HE/SHE SHALL BE PROCEEDING AT HIS/HER OWN RISK. 4. DIMENSIONS SHOWN SHALL TAKE PRECEDENCE OVER DRAWING SCALE OR PROPORTION. LARGER SCALE DRAWINGS SHALL TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. 5. IN THE EVENT OF THE UNFORESEEN ENCOUNTER OF MATERIALS SUSPECTED TO BE OF AN ARCHAEOLOGICAL OR PALEONTOLOGICAL NATURE, ALL GRADING AND EXCAVATION SHALL CEASE IN THE IMMEDIATE AREA AND THE THE CONTRACTOR SHALL NOTIFY THE OWNER. THE FIND SHALL BE LEFT UNTOUCHED UNTIL AN EVALUATION BY A QUALIFIED ARCHAEOLOGIST OR PALEONTOLOGIST IS MADE. 6. CONTRACTOR IS TO BE RESPONSIBLE FOR BEING FAMILIAR WITH THESE DOCUMENTS INCLUDING ALL CONTRACT REQUIREMENTS. 7. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES. 11. THE FOLLOWING ITEMS SHODRAWINGS ARE OWNER PROVIDED, OWNER INSTALLED. UTILITIES PROVIDED FOR THESE ITEMS WILL BE PROVIDED BY THE CONTRACTOR. CONTRACTOR TO COORDINATE INSTALLATION WITH OWNER. 11.1. TV/DVD SYSTEMS 11.2. ICE MACHINE 11.3. VENDING MACHINE 11.4. REFRIGERATOR 11.5. MICROWAVE 12. OSHA PERMITS REQUIRED FOR VERTICAL CUTS 5' OR OVER. 13. CONTRACTOR TO PROVIDE COMPLETE DETAILS OF ENGINEERED TEMPORARY SHORING OR SLOT CUTTING PROCEDURES ON PLANS. CALL FOR INSPECTION BEFORE EXCAVATION BEGINS. 14. CONTRACTOR TO REVIEW CALIFORNIA GREEN CODE REQUIREMENTS FOR CONTRACTOR REQUIREMENTS. 15. A SEPARATE OFFICER, ACCESS EASEMENT/AGREEMENT, AND/OR RECIPROCAL ACCESS EASEMENT/AGREEMENT MAY BE REQUIRED TO INSURE THAT THE PROPOSED PRIVATE ACCESS ROADWAY WILL REMAIN OPEN TO THROUGH TRAFFIC AND EMERGENCY VEHICLES PRIOR TO FINAL OF BUILDING PERMIT. 16. OWNER TO PROVIDE LOCATION OF THE NEAREST FIRE HYDRANT; FIRE HYDRANT LOCATION SHALL MEET THE REQUIREMENTS IN THE CPC. 17. IF THE MAIN RESIDENCE HAS TWO EXISTING WATER CLOSETS, WITH THE INCLUSION OF THE ADDITIONAL WATER CLOSET IN THE ADU, THE EXISTING SEWER LATERAL SIZE IS TO BE VARIFIED TO BE 4 INCHES PER CPC TABLE 703.2.

## PROJECT DIRECTORY

CLIENT: ADDRESS: PHONE: FAX: CONTACT: EMAIL: ARCHITECT (MODIFICATION TO PROTOTYPE): RRM DESIGN GROUP ADDRESS: 3765 S HIGUERA ST, SUITE 102 SAN LUIS OBISPO, CA 93401 PHONE: (805) 543-1794 FAX: CONTACT: EMAIL: LANDSCAPE ARCHITECT (IF APPLICABLE): ADDRESS: PHONE: FAX: CONTACT: EMAIL: CIVIL ENGINEER (IF APPLICABLE): ADDRESS: PHONE: FAX: CONTACT: EMAIL:

## AGENCIES AND UTILITIES

COMMUNITY DEVELOPMENT DEPARTMENT CITY OF COACHELLA PLANNING ADDRESS: 53990 ENTERPRISE WAY COACHELLA, CA 92236 PHONE: 760-398-3502 FAX:

WATER SERVICE: ADDRESS: PHONE: FAX:

ELECTRICAL SERVICE: ADDRESS: PHONE: FAX:

GAS SERVICE: ADDRESS: PHONE: FAX:

SEWER SERVICE: ADDRESS: PHONE: FAX:

TELEPHONE SERVICE: ADDRESS: PHONE: FAX:

GARBAGE SERVICE: ADDRESS: PHONE: FAX:

## PROTOTYPE PLANS PREPARED BY

ARCHITECT (PROTOTYPE): RRM DESIGN GROUP ADDRESS: 3765 S. HIGUERA STREET, SUITE 102 SAN LUIS OBISPO, CA 93401 PHONE: (805) 543-1794 FAX: (805) 543-4609 CONTACT: SCOTT MARTIN EMAIL: SAMARTIN@RRMDESIGN.COM STRUCTURAL ENGINEER: RRM DESIGN GROUP ADDRESS: 3675 S. HIGUERA STREET, SUITE 102 SAN LUIS OBISPO, CA 93401 PHONE: (805) 543-1794 FAX: (805) 543-4609 CONTACT: JESSICA MEADOWS EMAIL: JMMEADOWS@RRMDESIGN.COM

## SHEET INDEX

Table with columns: Sheet Number, Title. G-006 TITLE SHEET - PLAN 6 G-102 GENERAL NOTES T24-600 CERTIFICATE OF COMPLIANCE T24-601 CERTIFICATE OF COMPLIANCE AS-100 ARCHITECTURAL SITE PLAN SHEET - EXAMPLE & INSTRUCTIONS A6-101 FLOOR PLAN & RCP - PLAN 6 A6-111 MECHANICAL AND ELECTRICAL PLANS AND REFLECTED CEILING PLAN - PLAN 6 A6-201 EXT. ELEVATIONS & SECTIONS - PLAN 6 - MISSION A6-202 EXT. ELEVATIONS & SECTIONS - PLAN 6 - MODERN A6-203 EXT. ELEVATIONS & SECTIONS - PLAN 6 - SPANISH

Table with columns: Sheet Number, Title. AD-901 ARCHITECTURAL DETAILS - COMMON AD-902 ARCHITECTURAL DETAILS - COMMON AD-903 ARCHITECTURAL DETAILS - MISSION REVIVAL AD-904 ARCHITECTURAL DETAILS - DESERT MODERN AD-905 ARCHITECTURAL DETAILS - SPANISH COLONIAL AD-906 ARCHITECTURAL DETAILS - SPANISH COLONIAL Grand total: 16

## PROJECT SCOPE

CONVERSION OF 2-CAR GARAGE INTO 1 BEDROOM / 1 BATH ADU.

## SITE INFORMATION

OWNER TO PROVIDE THE FOLLOWING INFORMATION: LEGAL DESCRIPTION: APN #:

## ZONING INFORMATION

CITY OF COACHELLA TO PROVIDE THE FOLLOWING INFORMATION: ZONING: OVERLAY: ALLOWABLE BUILDING HEIGHT: LOT SIZE: EXISTING BLDG SPRINKLERED: IF YES, PROPOSED ADU MUST ALSO BE SPRINKLERED.

HABITABLE SQUARE FOOTAGE: EXISTING HABITABLE SQUARE FOOTAGE: PROPOSED HABITABLE SQUARE FOOTAGE: FAR (FLOOR AREA LIMIT): EXISTING FAR: MAX ALLOWABLE FAR: PROPOSED FAR:

LOT COVERAGE: INCLUDING ALL AREAS UNDER SOLID ROOF, INCLUDING EAVES. EXISTING LOT COVERAGE: ALLOWABLE LOT COVERAGE: PROPOSED LOT COVERAGE:

LOT SLOPE: SETBACKS: FRONT: REAR: SIDE:

PARKING REQ: EXISTING COVERED SPACES: EXISTING UNCOVERED SPACES: REQUIRED PARKING: COVERED: UNCOVERED: PROPOSED TOTAL SPACES: COVERED: UNCOVERED:

## ADU BUILDING INFORMATION

CITY OF COACHELLA TO PROVIDE THE FOLLOWING INFORMATION: OCCUPANCY GROUP: R-3 CONSTRUCTION TYPE: VB CONTINUED AREA: PLAN 6-EXISTING FOOTPRINT OF GARAGE, AS SHOWN IN VIEW 1/A8-101 672 SF

## PROJECT CHECKLIST

\*FOR PLANNING STAFF ONLY INITIAL WHEN SECTION HAS BEEN REVIEWED. STAFF INITIALS:

### EXTERIOR WALL MATERIAL

NEW INFILL SIDING SHALL MATCH EXISTING PRINCIPAL DWELLING

### WINDOW MATERIAL

- COLOR AND STYLE TO MATCH EXISTING HOME  VINYL  FIBERGLASS  WOOD  ALUMINUM CLAD WOOD

### ROOF MATERIAL

- COLOR AND STYLE TO MATCH EXISTING HOME  COMPOSITION SHINGLES  STANDING SEAM METAL ROOF

### WASTE WATER

- SEWER

### ONSITE PARKING REQUIRED

- NONE EXCEPTION USED:  THE ADU IS LOCATED WITHIN 1/2 MILE OF PUBLIC TRANSIT.  THE ADU IS LOCATED WITHIN A ARCHITECTURALLY AND HISTORICALLY SIGNIFICANT STRUCTURE.  OFF STREET PARKING PERMITS ARE REQUIRED BUT NOT OFFERED TO THE OCCUPANT OF THE ADU.  WHEN THERE IS A CAR SHARE VEHICLE LOCATED WITHIN ONE BLOCK OF THE ADU.  ONE PARKING SPACE

### VERY HIGH FIRE SEVERITY ZONE

- NO  YES

IF THE PROPERTY THAT WILL CONTAIN THE ADU IS IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SEE NOTES BELOW: 1. AN ADU IN THE VERY HIGH FIRE SEVERITY ZONE SHALL COMPLY WITH CHAPTER 7A OF THE CURRENT CALIFORNIA BUILDING CODE. 2. STRUCTURES IN THE VERY HIGH FIRE HAZARD SEVERITY ZONE SHALL PROVIDE & MAINTAIN A FUEL MODIFICATION ZONE. FUEL MODIFICATION ZONES: THE APPLICANT SHALL PROVIDE & MAINTAIN FIRE/FUEL BREAKS TO THE SATISFACTION OF THE LOCAL FIRE DEPARTMENT. FIRE/FUEL BREAKS SHALL BE SHOWN ON THE GRADING, MAP, AND BUILDING PLANS. 3. USE FIRE RATED ASSEMBLY ALTERNATIVE AS SHOWN IN ROOF FRAMING DETAILS AS REFERENCED ON PLANS. 4. USE RATED WALL ASSEMBLIES (34/AD-902, 24/AD-10902) 5. THE INTENSITY OF FUELS MANAGEMENT MAY VARY WITHIN THE 100-FOOT PERIMETER OF THE STRUCTURE, WITH MORE INTENSE FUEL REDUCTIONS BEING USED BETWEEN 5 AND 30 FEET AROUND THE STRUCTURE, AND AN EMBER-RESISTANT ZONE BEING REQUIRED WITHIN 5 FEET OF THE STRUCTURE ACCORDING TO GOVERNMENT CODE 51182. THE EMBER RESISTANT ZONE FOR THE ADU SHALL BE SEPARATE FROM THE 5-FOOT EMBER RESISTANCE ZONE OF THE EXISTING STRUCTURE. THE DEFENSIBLE SPACE PLAN AND VEGETATION MANAGEMENT SHALL BE REVIEWED BY THE CITY OF NEWPORT BEACH FIRE DEPARTMENT. 6. VERIFY COMPLIANCE WITH YOUR INSURANCE UNDERWRITER PRIOR TO CONSTRUCTION OF THE ADU.

### FIRE SPRINKLERS

- DOES THE PRIMARY RESIDENCE HAVE NFPA 13D SPRINKLERS?  NO  YES REQUIRED AT PROPOSED ADU:  NO (NOT REQUIRED IF THE PRIMARY RESIDENCE IS UNSPRINKLERED)  YES (REQUIRED IF THE PRIMARY RESIDENCE IS SPRINKLERED)

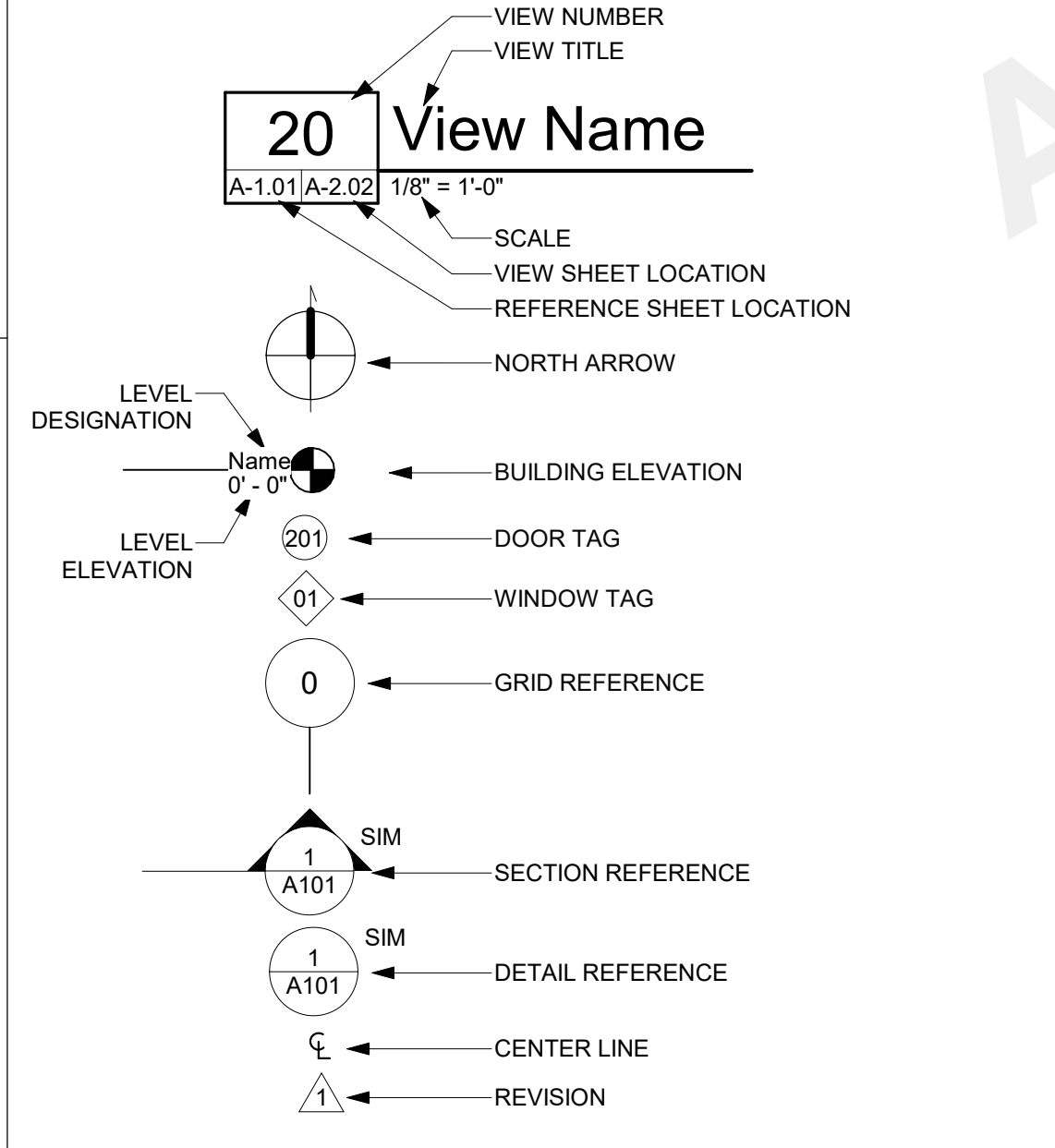
### FIRE SPRINKLERS NOTES

- 1. FIRE SPRINKLER SHOP DRAWINGS & CALCULATIONS SHALL BE SUBMITTED TO BUILDING DEPT. & APPROVED BY FIRE DEPT. PRIOR TO INSTALLATION. 2. IF FIRE SPRINKLERS ARE REQUIRED AT PROPOSED ADU THEN THE FOLLOWING NOTES APPLY. 3. DEFERRED SUBMITTAL. OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION. 4. AUTOMATIC FIRE SPRINKLER SYSTEM - AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AS PER NFPA 13D THE MOST CURRENT EDITION. DETAILED SPRINKLER PLANS SHALL BE SUBMITTED TO THE FIRE PREVENTION BUREAU AND APPROVED PRIOR TO INSTALLATION. PLANS AND INSTALLATION MUST BE BY A C16 LICENSED SPRINKLER CONTRACTOR. 5. LOCATION AND SIZE OF WATER SERVICE UNDERGROUND SHALL BE INSTALLED AS SHOWN ON APPROVED FIRE SPRINKLER PLANS. 6. A FIRE UNDERGROUND FLUSH CERTIFICATION SHALL BE REQUIRED AT FINAL INSPECTION. 7. A HYDRO INSPECTION OF THE FIRE SPRINKLER SYSTEM IS REQUIRED PRIOR TO FRAME INSPECTION.

### LIQUIFICATION AREA

- THE PRIMARY RESIDENCE LOCATED WITHIN A DESIGNATED LIQUIFICATION ZONE?  NO  YES

## SYMBOLS



## SPECIAL INSTRUCTIONS

OWNER SHALL SUPPLY INFORMATION ON THE FOUNDATION TYPE OF THE EXISTING BUILDING. IF THE FOUNDATION TYPE OF THE EXISTING BUILDING MATCHES THE PROPOSED FOUNDATION OF AN ADU, A SOILS REPORT WILL NOT BE REQUIRED. HOWEVER, IF A DIFFERENT FOUNDATION TYPE IS PROPOSED A SOILS REPORT WILL BE REQUIRED.

## DEFERRED SUBMITTALS

- 1. ROOF TRUSS CALCULATIONS 2. FIRE SPRINKLER ( YES / NO ) (SEPARATE PLAN CHECK / PERMIT) 3. SOLAR PV ( -KW) (SEPARATE PLAN CHECK / PERMIT)





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PROTOTYPE ADU  
2 CAR GARAGE CONVERSION  
COACHELLA, CA

CERTIFICATE OF COMPLIANCE

PUBLIC SET  
DATE  
01/11/24  
SHEET  
T24-600

CERTIFICATE OF COMPLIANCE - RESIDENTIAL PERFORMANCE COMPLIANCE METHOD  
Project Name: Coachella ADUs (Plan 6-Conversion) Calculation Date/Time: 2023-08-28T10:22:43-07:00  
Calculation Description: Title 24 Analysis Input File Name: Coachella ADUs (Plan 6-Conversion).ribd22x

CF1R-PRF-01E  
(Page 1 of 9)

GENERAL INFORMATION table with columns for Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area (ft²), Existing Cond. Floor Area (ft²), Total Cond. Floor Area (ft²), ADU Bedroom Count, Fuel Type, Standards Version, Software Version, Front Orientation (deg/ Cardinal), Number of Dwelling Units, Number of Bedrooms, Number of Stories, Fenestration Average U-factor, Glazing Percentage (%), ADU Conditioned Floor Area, Occupancy U.

ADDITION ALONE - Project Analysis Parameters table with columns for Existing Area (excl. new addition) (ft²), Addition Area (excl. existing) (ft²), Total Area (ft²), Existing Bedrooms, Addition Bedrooms, Total Bedrooms.

ADDITION ALONE - ACCESSORY DWELLING UNIT (ADU) PROJECT ANALYSIS PARAMETERS table with columns for Zone Name, Existing Area (excl. new addition) (ft²), ADU Area (excl. existing) (ft²), Total Area (ft²), Existing Bedrooms, Addition Bedrooms, Total Bedrooms, Attached vs. Detached.

Registration Number: 223-P010107538A-000-000-0000000-0000 Registration Date/Time: 2023-08-28 11:08:50 HERS Provider: CalCERTS, Inc.  
CA Building Energy Efficiency Standards - 2022 Residential Compliance Report Version: 2022.0.000 Report Generated: 2023-08-28 10:23:01  
Schema Version: rev 20220901

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CF1R-PRF-01E  
(Page 4 of 9)

ENERGY USE INTENSITY table with columns for Standard Design (kBtu/ft²-yr), Proposed Design (kBtu/ft²-yr), Compliance Margin (kBtu/ft²-yr), Margin Percentage. Rows for Gross EUI, Net EUI.

REQUIRED SPECIAL FEATURES  
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.  
• Variable capacity heat pump compliance option (verification details from VCHP Staff report, Appendix B, and RA3)

HERS FEATURE SUMMARY  
The following is a summary of the features that must be field-verified by a certified HERS Rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.  
• Indoor air quality ventilation  
• Kitchen range hood  
• Verified Refrigerant Charge  
• Airflow in habitable rooms (SC3.1.4.1.7)  
• Verified heat pump rated heating capacity  
• Wall-mounted thermostat in zones greater than 150 ft² (SC3.4.5)  
• Ductless indoor units located entirely in conditioned space (SC3.1.4.1.8)

ZONE INFORMATION table with columns for Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, Status.

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CF1R-PRF-01E  
(Page 7 of 9)

WATER HEATING SYSTEMS table with columns for Name, System Type, Distribution Type, Water Heater Name, Number of Units, Solar Heating System, Compact Distribution, HERS Verification, Water Heater Name (#).

WATER HEATERS table with columns for Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Heating Efficiency Type, Efficiency, Rated Input Type, Input Rating or Pilot, Tank Insulation R-value (Int/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, Tank Location.

WATER HEATING - HERS VERIFICATION table with columns for Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Shower Drain Water Heat Recovery.

SPACE CONDITIONING SYSTEMS table with columns for Name, System Type, Heating Unit Name, Heating Equipment Count, Cooling Unit Name, Cooling Equipment Count, Fan Name, Distribution Name, Required Thermostat Type.

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Schema Version: rev 20220901

TABLE OF CONTENTS  
1 Cover Page  
2 Table of Contents  
3 Form CF1R-PRF-01-E Certificate of Compliance  
12 Form RMS-1 Residential Measures Summary  
13 Form MF1R Mandatory Measures Summary  
18 Room Load Summary

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CF1R-PRF-01E  
(Page 3 of 9)

ENERGY USE SUMMARY table with columns for Energy Use, Standard Design Source Energy (EDR1) (kBtu/ft²-yr), Standard Design TDV Energy (EDR2) (kTDV/ft²-yr), Proposed Design Source Energy (EDR1) (kBtu/ft²-yr), Proposed Design TDV Energy (EDR2) (kTDV/ft²-yr), Compliance Margin (EDR1), Compliance Margin (EDR2). Rows for Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Flexibility Credit, Efficiency Compliance Total, Photovoltaics, Battery, Flexibility, Indoor Lighting, Appl. & Cooking, Plug Loads, Outdoor Lighting, TOTAL COMPLIANCE.

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CF1R-PRF-01E  
(Page 6 of 9)

SLAB FLOORS table with columns for Name, Zone, Area (ft²), Perimeter (ft), Edge Insul. R-value and Depth, Edge Insul. R-value and Depth, Carpeted Fraction, Heated.

OPAQUE SURFACE CONSTRUCTIONS table with columns for Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers.

BUILDING ENVELOPE - HERS VERIFICATION table with columns for Quality Insulation Installation (QII), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50.

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BUILDING ENERGY ANALYSIS REPORT  
PROJECT: Coachella ADUs (Plan 6-Conversion) Coachella, CA  
Project Designer: RRM Design Group, 3765 South Figueroa St. Suite 102, San Luis Obispo, CA 93401, (805) 543-1794  
Report Prepared by: Timothy Carstairs, CEA, HERS, GPR, Carstairs Energy Inc., 2238 Bayview Heights Drive, Suite E, Los Osos, CA 93402, 805-904-9048  
Job Number: 23-082810  
Date: 8/28/2023  
The EnergyPro computer program has been used to perform the calculations summarized in this compliance report. This program has approval and is authorized by the California Energy Commission for use with both the Residential and Nonresidential 2022 Building Energy Efficiency Standards. This program developed by EnergySoft, LLC - www.energysoft.com.

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CF1R-PRF-01E  
(Page 2 of 9)

COMPLIANCE RESULTS table with columns for Item, Description.



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CF1R-PRF-01E  
(Page 5 of 9)

OPAQUE SURFACES table with columns for Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg), Wall Exceptions, Status.

ATTIC table with columns for Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof.

FENESTRATION / GLAZING table with columns for Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading.

OPAQUE DOORS table with columns for Name, Side of Building, Area (ft²), U-factor.

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7/19/2024 8:55:09 AM Autodesk\_Docs\2299\_Coachella ADU\2299-01\_Coachella ADUs\_Garage Unit.rvt

2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 190.01(C), § 190.01(H)) and Description (e.g., Screw based luminaires must contain lumens that comply with Reference Joint Appendix JAB, § 190.01(H) Light Sources in Dimmers, Cabinets, and Other Controls...)

56/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 190.04, § 190.05) and Description (e.g., Energy Storage System (ESS) Ready, At single-family residences must comply with § 190.04 of the California Mechanical Code (CMC)...

\*Exceptions may apply.

56/22

ROOM LOAD SUMMARY

Table with columns: Room Name, Room Number, Room Area, Room Volume, Room Cooling Peak (Sensible, Latent, Total), Room Heating Peak (Sensible, Latent, Total), and a summary row for TOTAL.

\* Total includes ventilation load for control plants.

PUBLIC SET DATE 01/11/24 SHEET

T24-601



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 190.01(A), § 190.01(B)) and Description (e.g., All electrically supplied buildings subject to the Energy Code must comply with applicable mandatory measures, regardless of the compliance approach used...)

56/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 190.6, § 190.01) and Description (e.g., Pilot Lights, continuously burning pilot lights are prohibited for natural gas, fan-type water heaters, household water heaters, and gas water heaters...)

56/22



2022 Single-Family Residential Mandatory Requirements Summary

Table with 2 columns: Code (e.g., § 190.01(A), § 190.01(B)) and Description (e.g., Space Conditioning System Airflow Rate and Fan Efficiency, Space conditioning systems that use ducts to supply cooling must have a minimum airflow rate of 1.5 CFM per square foot...)

56/22

Table with 13 columns: 01-13, rows for Name, System Type, Number of Units, Efficiency Type, Heating, Cooling, Zonally Controlled, Compressor Type, HERS Verification.

Table with 9 columns: 01-09, rows for Name, Verified Airflow, Airflow Target, Verified EER/EER2, Verified SEER/SEER2, Verified Heating Charge, Verified HSPF/HSPF2, Verified Heating Cap 17, Verified Heating Cap 17.

Table with 10 columns: 01-10, rows for Name, Certified Low-Static VCHP System, Airflow to Habitable Rooms, Ductless Units in Conditioned Space, Wall Mount Thermostat, Air Filter Sizing, Low Leakage Ducts in Conditioned Space, Minimum Airflow per RA3.3 and SC3.3.3.4.1, Certified non-continuous fan, Indoor Fan not Running Continuously.

Table with 9 columns: 01-09, rows for Dwelling Unit, Airflow (CFM), Fan Efficiency (W/CFM), IAQ Fan Type, Includes Heat/Energy Recovery?, IAQ Recovery Effectiveness - SRE, Includes Fault Indicator Display?, HERS Verification, Status.

Registration Number: 223-P010107538A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-28 11:08:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CaCERTS Inc. Registration Date/Time: 2023-08-28 11:08:50 Report Generated: 2023-08-28 10:23:01

Documentation Author's Declaration Statement, Responsible Person's Declaration Statement, Responsible Designer Name, Company, Address, City/State/Zip, Phone, License, Date Signed.

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Registration Number: 223-P010107538A-000-000-000000-0000 CA Building Energy Efficiency Standards - 2022 Residential Compliance

Registration Date/Time: 2023-08-28 11:08:50 Report Version: 2022.0.000 Schema Version: rev 20220901

HERS Provider: CaCERTS Inc. Registration Date/Time: 2023-08-28 10:23:01

RESIDENTIAL MEASURES SUMMARY table with columns: Building Type, Project Name, Project Address, CA Climate Zone, Cavity, Area, Special Features, Status, Fenestration, U-Fac, Overhang, Sidelights, Exterior Shades, HVAC Systems, HVAC Distribution, Water Heating.



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PROTOTYPE ADU 2 CAR GARAGE COVERAGE COACHELLA, CA

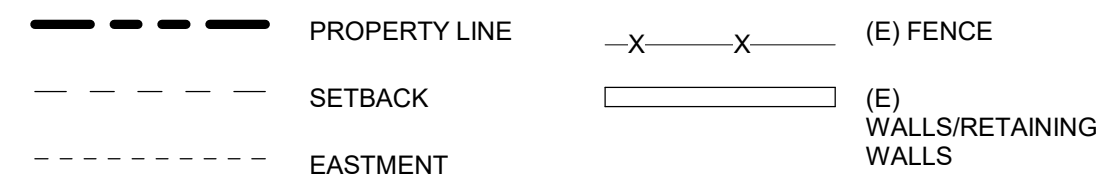
CERTIFICATE OF COMPLIANCE

# SITE PLAN TO BE PROVIDED BY APPLICANT



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## SITE PLAN LEGEND



## SITE PLAN GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-101 FOR ADDITIONAL REQUIREMENTS
- REFER TO STRUCTURAL PLANS FOR FURTHER INFORMATION
- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY PER 2022 CBC, SECTION 310.1.
- NOT LESS THAN 30" OF CLEARANCE IN WIDTH, DEPTH, & HEIGHT SHALL BE PROVIDED TO ACCESS EXTERIOR MECHANICAL EQUIPMENT. SHOW LOCATION ON SITE PLAN & LABEL (2022 CMC SECTION 304.1 & 2022 CPC 504.3).

## SITE PLAN CHECKLIST

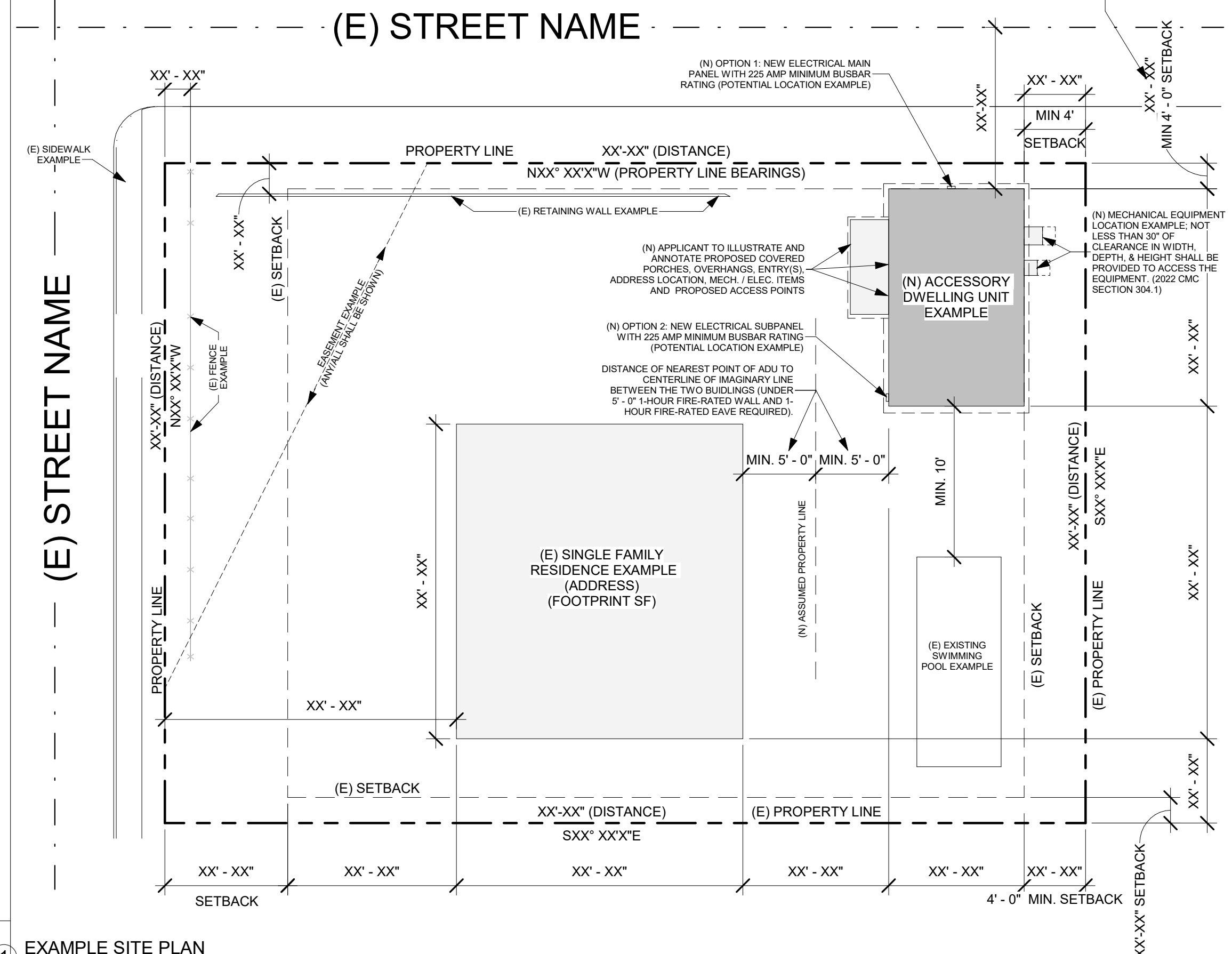
IF (N) ADU IS 5' - 0" OR LESS TO ANY PROPERTY LINE AND/OR ADU IS 10' - 0" OR LESS FROM ANY ADJACENT BUILDING OR STRUCTURE:

- NO  YES; IF YES, FIRE RATED WALL & ROOF REQUIRED PER 2022 CBC, CHAPTER 2. SEE DETAILS: 52/A-901 & 32/A-903

- ELECTRICAL PANEL:  OPTION 1 - NEW ELECTRICAL MAIN PANEL WITH 225 AMP MINIMUM BUSBAR RATING  
 OPTION 2 - A NEW ELECTRICAL SUBPANEL CONNECTS TO THE ELECTRICAL MAIN PANEL OF THE PRIMARY HOME WITH A 225 AMP MINIMUM BUSBAR RATING. A SEPARATE ELECTRICAL PERMIT SHALL BE PULLED FOR THE ELECTRICAL MAIN PANEL OF THE PRIMARY HOME. ELECTRICAL LOAD CALCULATIONS IS REQUIRED.

- FOOTPRINT OF ALL EXISTING AND PROPOSED BUILDINGS  
PLOT THE PROPOSED ADU BUILDING FOOTPRINT ALONG WITH ANY OTHER EXISTING BUILDINGS ONSITE. THIS INCLUDES ALL STRUCTURES / PORCHES / GAZEBOS. IF AN OPTIONAL COVERED PATIO IS SELECTED, PLEASE PLOT THAT AS WELL.
- AREA OF EXISTING BUILDING  
INDICATE THE SQUARE FOOTAGE OF THE EXISTING HOUSE.
- FOOTPRINT OF PROPOSED ADU  
REFER TO LEGEND FOR FOOTPRINT AT 10'=1" SCALE
- DRAWING SCALE  
SITE PLAN SHOULD BE DRAWN TO A MEASURABLE SCALE.
- PROPERTY LINES  
SHOW OUTLINE OF PROPERTY USING DASHED LINE IN LEGEND. INDICATE THE BEARING AND DISTANCE OF THE PROPERTY LINE.
- LABEL YARDS  
LABEL FRONT, REAR, SIDE YARDS, AS WELL AS DRIVEWAYS, PATHWAYS AND ANY OTHER HARDSCAPE.
- SETBACKS  
DIMENSION THE DISTANCE BETWEEN BUILDINGS AND PROPOERTY LINES, AS WELL AS BUILDINGS TO OTHER STRUCTURES. SETBACKS TO SIDE AND REAR PROPERTY SIDE SHALL BE A MINIMUM OF (4' - 0").
- EASEMENTS  
REFER TO LEGEND. MUST INCLUDE ALL APPLICABLE EASEMENTS. PROPOSED STRUCTURE SHALL COMPLY WITH EASEMENT REQUIREMENTS.
- LOCATION OF RAIN WATER LEADERS  
THE ROOF DRAINS SHOULD DRAIN AWAY FROM THE PROPERTY LINES AND INTO THE LANDSCAPE AREA.
- LABEL STREETS & SIDEWALKS
- DIMENSION BUILDING SEPARATION  
DIMENSION THE DISTANCE BETWEEN THE PROPOSED ADU AND ANY EXISTING STRUCTURES
- LOT COVERAGE CALCULATION  
TOTAL FOOTPRINT AREA FOR STRUCTURES ON SITE / LOT AREA
- SWIMMING POOLS  
ALL EXISTING SWIMMING POOLS SHALL BE SHOWN ON THE SITE PLAN AND SHALL HAVE 10' MINIMUM SETBACK TO THE NEW ADU STRUCTURE.
- PORCHES  
THERE SHALL BE NO MORE THAN 30 INCHES MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW (INCLUDING FLOORS, STAIRS, RAMPS, AND LANDINGS) ANYWHERE MEASURED LESS THAN 36 INCHES HORIZONTALLY TO THE EDGE OF THE PORCH/SLAB/SURFACE OF THE RAIL. INSECT SCREENING SHALL NOT BE CONSIDERED AS A GUARD.
- LOCATION OF EXISTING UTILITIES  
UTILITIES, POLES, SEWER, DRAINS, ELECTRICAL, GAS METERS AND LINES AND ANY PHOTOVOLTAIC.
- LOCATION OF PROPOSED UTILITIES  
PROPOSED UTILITIES SHALL CONFORM TO REQUIREMENTS OF CONTRA COSTA COUNTY SANITARY DISTRICT - SANITARY SEWER FROM ADU TO EXISTING SEWER. SEWER LINE TO THE PROPOSED ADU SHALL BE CONNECTED TO THE MAIN LATERAL AT THE PROPERTY LINE OR BEHIND THE SIDEWALK. LATERAL POINT OF CONNECTION INCLUDING REQUIRED CLEANOUTS, WATER LINE TO ADU, ELECTRIC TO ADU INCLUDING ANY NEW METERS OR SUBPANELS.

**NOTE: THIS IS AN EXAMPLE SITE PLAN. EXACT LAYOUT, DIMENSIONS, AND BEARINGS SHALL BE PROVIDED BY OWNER/APPLICANT. (E) EXISTING (N) NEW**



**PROTOTYPE ADU**  
**2 CAR GARAGE CONVERSION**  
 COACHELLA, CA  
**ARCHITECTURAL SITE PLAN SHEET**  
**- EXAMPLE & INSTRUCTIONS**

DATE  
01/11/24  
SHEET

AS-100

**SITE PLAN**

SCALE:



EXAMPLE SITE PLAN  
1" = 20'-0"

PUBLIC SET

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### LEGEND

- EXTERIOR - 5 1/2" WOOD STUD W/ PLYWOOD SHEATHING AND STUCCO/SIDING PER ELEVATION, ONE LAYER GYPSUM WALL BOARD INTERIOR.
- INTERIOR - 5 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.
- INTERIOR - 3 1/2" WOOD STUD W/ ONE LAYER GYPSUM WALL BOARD EACH SIDE.

### KEYNOTES

- A05 REFRIGERATOR LOCATION. PROVIDE 37" SPACE WITH ROUGH PLUMBING FOR ICE MAKER (RECESS IN WALL).
- A06 STACKED WASHER/DRYER MACHINE LOCATION. PROVIDE WASTE AND WATER IN RECESSED WALL BOX. PROVIDE DRYER VENT. VENT TO OUTSIDE AIR THROUGH EXTERIOR WALL. DRYER VENT 4" MIN DIAMETER TO EXTERIOR WITH SCREENED AND ONE DIRECTIONAL VENT GATE. MAX LENGTH TO NOT EXCEED 14' WITH A MAX OF 2 90-DEGREE BENDS. TERMINATION SHALL BE 3' MINIMUM FROM OPERABLE OPENING IN EXTERIOR WALL.
- B04 LAVATORY SINK. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- B05 WATER CLOSET. REFER TO WATER EFFICIENCY REQUIREMENTS ON CALGREEN CODE NOTES SHEETS.
- B08 30" x 60" x 72" TUB AND SHOWER COMBINATION. MODEL BY BUILDER. PROVIDE SHOWER ROD.
- C01 SINGLE WOOD SHELF AND POLE.
- C08 12" DEEP UPPER CABINET.
- C10 24" DEEP UPPER CABINET.
- C13 SINK BASE CABINET AND COUNTERTOP.\*
- C14 36" A.F.F. COUNTERTOP
- F03 22" X 30" MIN. ATTIC ACCESS.

### WINDOW GENERAL NOTES

1. REFER TO FLOOR PLANS FOR WINDOW LOCATIONS.
2. CONTRACTOR TO VERIFY EXACT ROUGH OPENING SIZES PRIOR TO FABRICATION OF ROUGH OPENINGS.
3. REFER TO ENERGY COMPLIANCE REPORTS FOR U-FACTOR, SHGC AND ADDITIONAL WINDOW REQUIREMENTS.
4. ALL GLAZING IS DOUBLE PANE UNLESS OTHERWISE NOTED.
5. EGRESS WINDOWS SHALL HAVE A CLEAR OPENING WITH A MAX. SILL HEIGHT OF 44" AFF, MIN. NET CLEAR OPENING FOR EMERGENCY ESCAPE SHALL BE 5.7 S.F. EXCEPT: 5 S.F. MIN. AT GROUND FLOOR. MINIMUM NET CLEAR OPENING DIMENSIONS: HEIGHT: 24"; WIDTH: 20". [2022 CRC SEC. R310.2]
6. WINDOWS TO MATCH EXISTING STYLE AND COLOR OF EXISTING HOME.

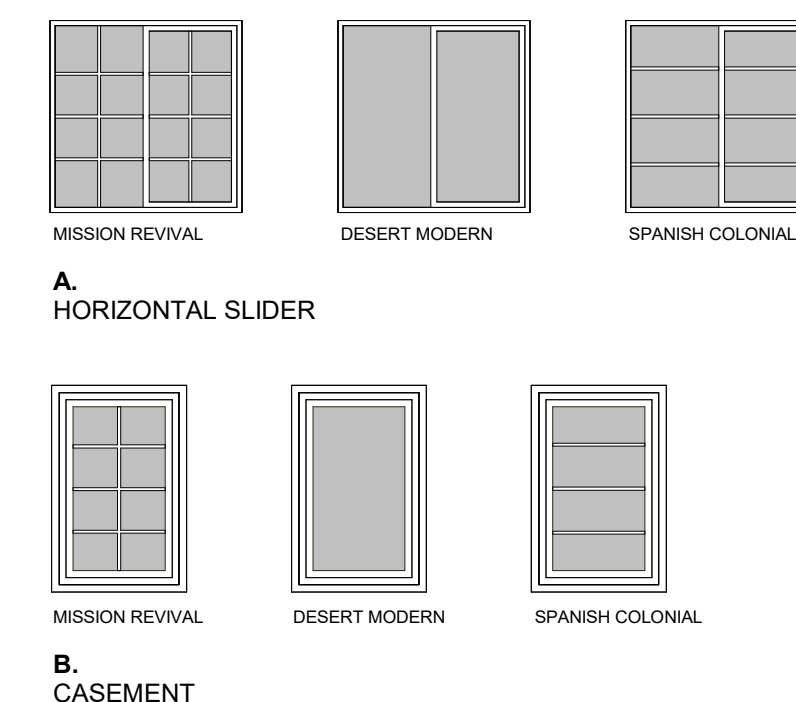
### WINDOW SCHEDULE

NO.	TYPE	SIZE		HEAD HEIGHT	REMARKS
		WIDTH	HEIGHT		
22	C	3' - 0"	6' - 8"		3

### WINDOW REMARKS

1. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. THE NET CLEAR OPENING DIMENSIONS SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. PER CBC 2022 SEC. 1031.3.2
2. SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. PER CBC 2022 SEC. 1031.3.3
3. TEMPERED / SAFETY GLAZING.

### WINDOW LEGEND



### FLOOR PLAN NOTES

1. DIMENSIONS ARE TO FACE OF FRAMING U.N.O
2. REFER TO STRUCTURAL PLANS FOR FURTHER FRAMING INFORMATION.
3. REFER TO ELECTRICAL & MECHANICAL PLANS FOR FURTHER INFORMATION.
4. ALL FURNITURE AND EQUIPMENT IS BY OWNER AND IS SHOWN FOR COORDINATION PURPOSES ONLY.
5. FLOOR FINISHES TO BE DETERMINED BY THE PROPERTY OWNER.
6. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72" ABOVE THE DRAIN INLET.
7. PROVIDE ADEQUATE BLOCKING IN WALLS FOR CABINETS AND OTHER WALL MOUNTED ACCESSORIES INCLUDING BUT NOT LIMITED TO HANDRAILS, SHELVING AND BATHROOM FIXTURES.
8. PROVIDE FIRE BLOCKING FOR WALL CAVITIES THAT EXCEED CBC HEIGHT LIMITATION.

### AREAS

AREAS-PLAN 5	
SPACE	CONDITIONED AREA
PLAN 5-EXISTING FOOTPRINT OF GARAGE, AS SHOWN IN VIEW 1/A7-101	441 SF

### DOOR GENERAL NOTES

1. REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS
2. REFER TO PLANS FOR LOCATION OF DOORS.
3. VERIFY ROUGH OPENING SIZE WITH DOOR MANUFACTURER SPECIFICATIONS PRIOR TO CONSTRUCTION.
4. CONTRACTOR TO VERIFY ACTUAL DOOR SIZE TO FIT FINISH OPENING PRIOR TO FABRICATION OF DOOR AND FINISH OPENING.
5. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) IN THICKNESS. SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES (35 MM) THICK, OR 20-MINUTE FIRE-RATED DOORS 2022 CRC SECTION R302.5.1. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC CLOSING DEVICE.
6. GLAZING IN DOORS SHALL BE TEMPERED PER SECTION R308.4.1.
7. DOORS TO MATCH STYLE AND COLOR OF EXISTING HOME.

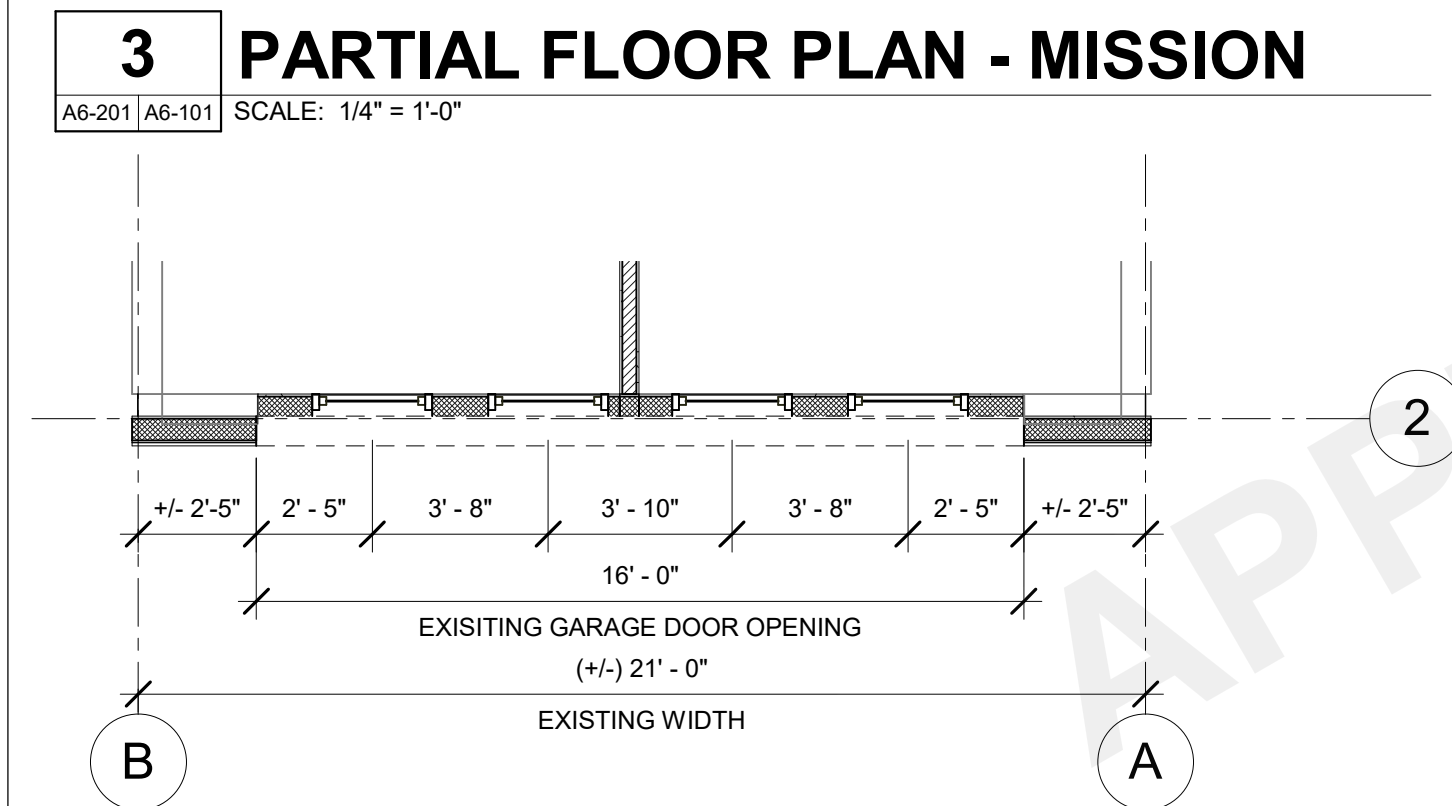
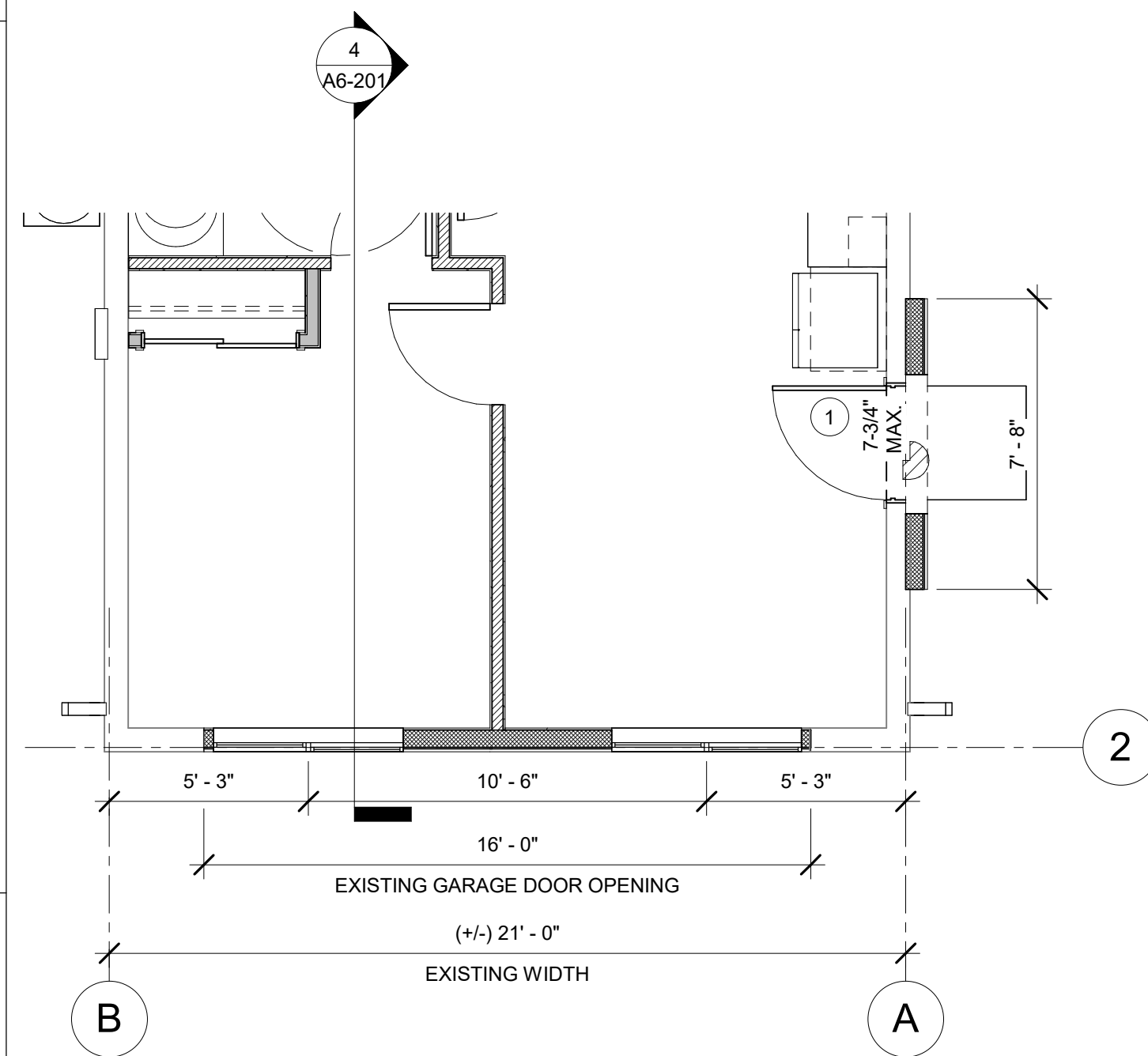
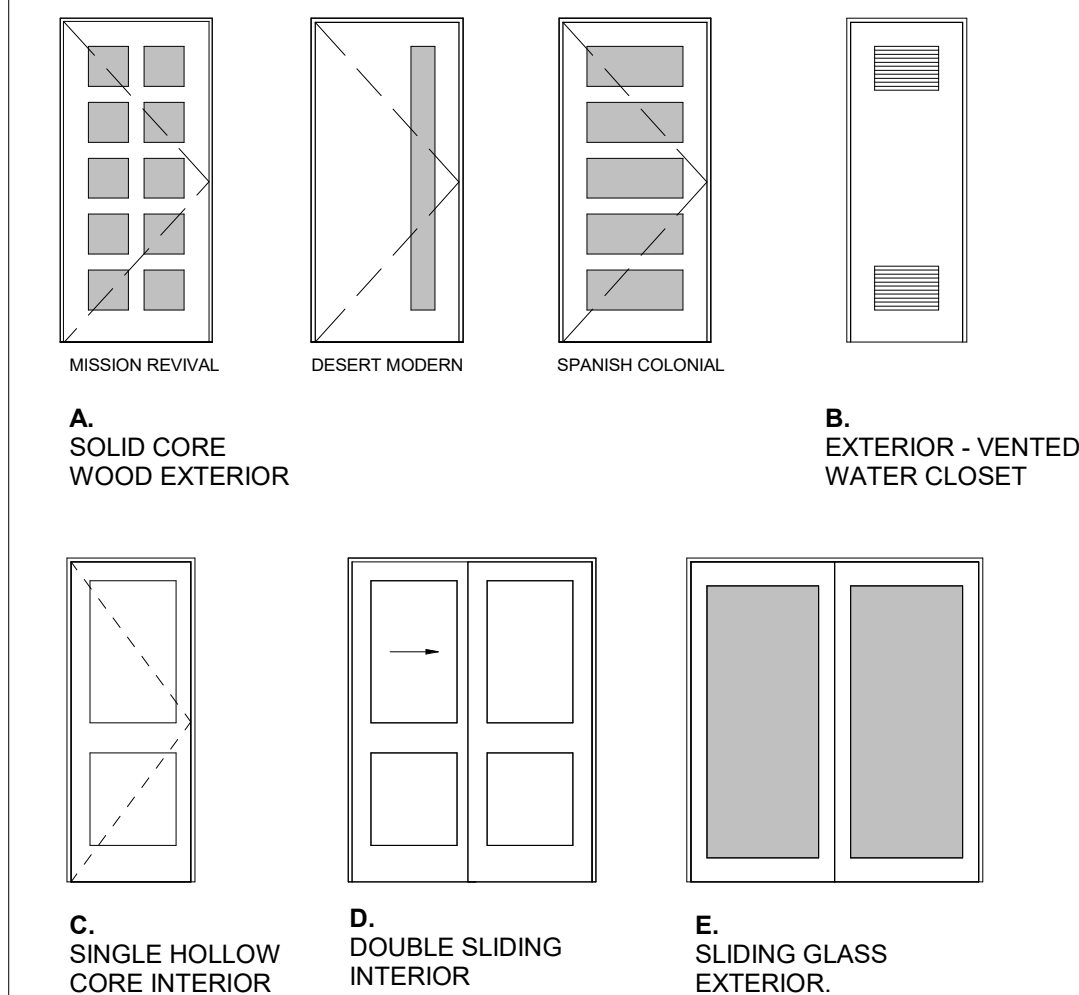
### DOOR SCHEDULE

NO.	TYPE	SIZE		FIRE RATING	REMARKS
		WIDTH	HEIGHT		
2	C	2' - 8"	6' - 8"		
3	D	4' - 0"	6' - 8"		
4	C	2' - 8"	6' - 8"		
22	C	3' - 0"	6' - 8"		3

### DOOR REMARKS

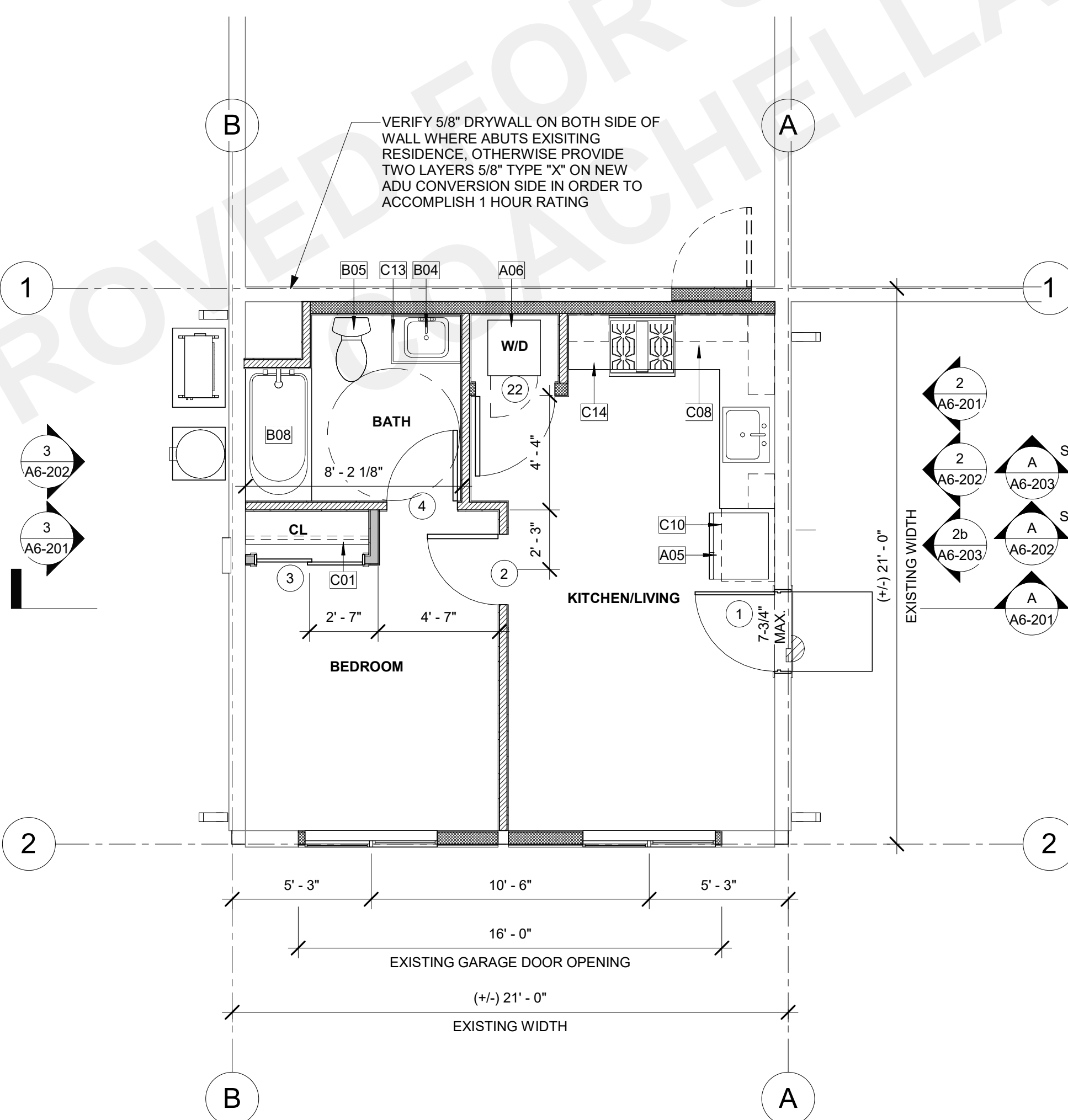
1. FIRE RATED DOOR. REFER TO GENERAL DOOR NOTE #5
2. GLAZING IN DOOR. TEMPERED (BOTH PANES)
3. PROVIDE 100 SQ INCHES OF VENTING IN DOOR OR BY OTHER APPROVED MEANS.
4. OPTIONAL DOOR.

### DOOR LEGEND



### 2 GROUND FLOOR RCP

A6-201 | A6-101 | SCALE: 1/4" = 1'-0"



### 1 FLOOR PLAN - FRONT FACING GARAGE DOOR

A6-201 | A6-101 | SCALE: 1/4" = 1'-0"

# ELECTRICAL LOAD CALCULATIONS

# UTILITY GENERAL NOTES

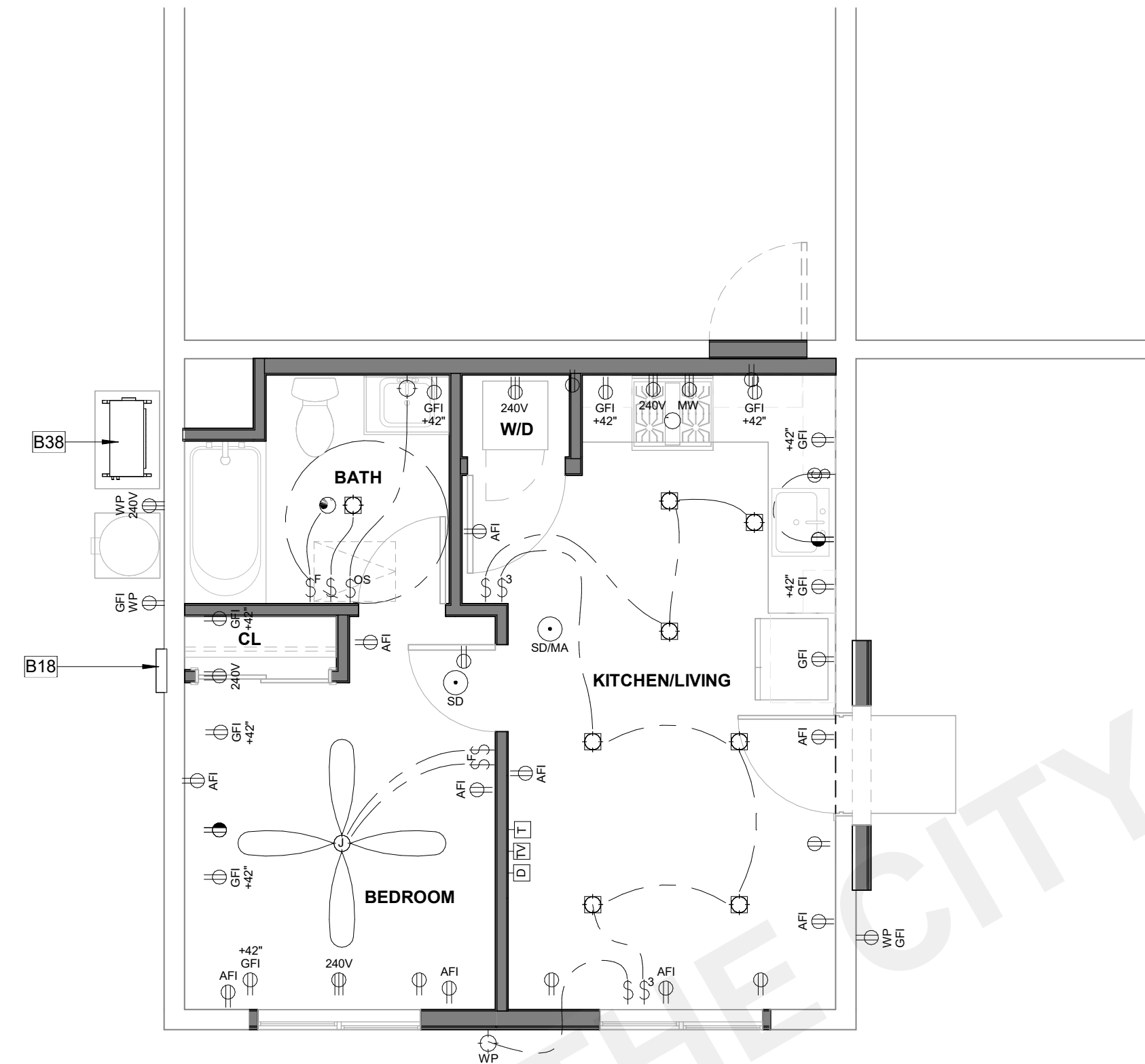
- REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS.
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- SEE TITLE 24 REPORTS FOR ADDITIONAL INFORMATION.

# KEYNOTES

- B18 ELECTRIC PANEL TBD.  
 B38 MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION, 3" MIN. ABOVE GRADE.



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## 1 ELECTRICAL FLOOR PLAN

AB-201 | AB-111 SCALE: 1/4" = 1'-0"

# VENTILATION SUMMARIES

### 1) LOCAL EXHAUST VENTILATION

BATHROOM	OPTION A	OPTION B
BATHROOM FAN FLOW (cfm) .....	50 CFM	50 CFM
DUCT TYPE .....	FLEX DUCT	SMOOTH DUCT
DUCT SIZE (in) .....	4"	4"
MAX. ALLOWABLE DUCT LENGTH (ft) .....	70'	105'
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 3 SONES.		

KITCHEN	OPTION A	OPTION B
KITCHEN FAN FLOW (cfm) .....	100 CFM	50 CFM
DUCT TYPE .....	FLEX DUCT	SMOOTH DUCT
DUCT SIZE (in) .....	5"	5"
MAX. ALLOWABLE DUCT LENGTH (ft) .....	35'	85'
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 3 SONES.		

### 2) WHOLE BUILDING VENTILATION

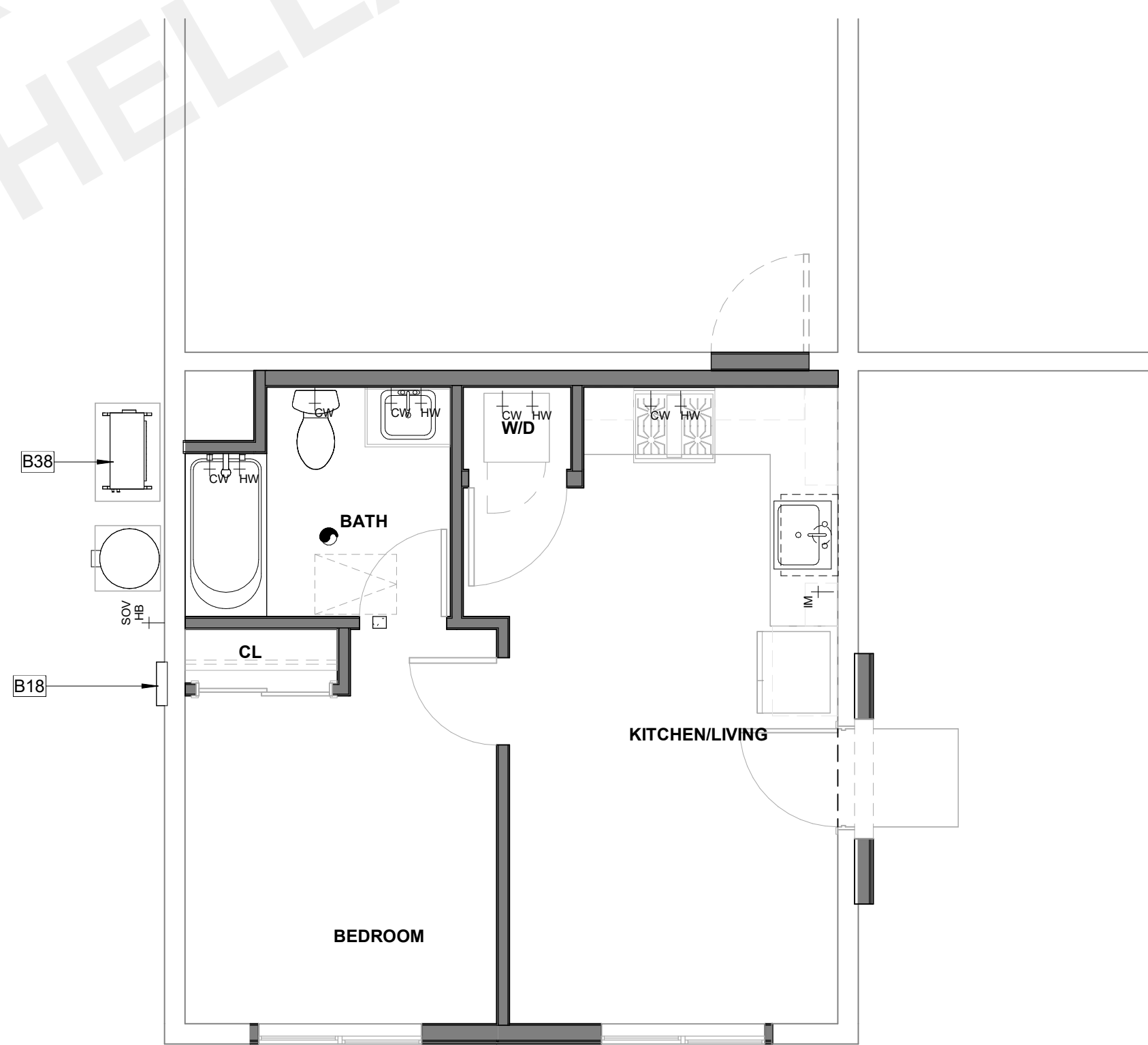
PER ASHRAE STANDARD 62.2, CEC EQUATION 150.0-B	OPTION A	OPTION B
BUILDING FAN FLOW (cfm) .....	50 CFM	50 CFM
DUCT TYPE .....	FLEX DUCT	SMOOTH DUCT
DUCT SIZE (in) .....	4"	4"
MAX. ALLOWABLE DUCT LENGTH (ft) .....	70'	105'
THIS EXHAUST FAN IS REQUIRED TO BE RATED FOR SOUND AT A MAX. OF 1 SONE.		
THIS EXHAUST FAN IS REQUIRED TO OPERATE CONTINUOUSLY TO ENSURE CONTINUOUSLY TO ENSURE INDOOR AIR QUALITY.		

**TOTAL (MINIMUM) REQUIRED VENTILATION RATE**  
 PER ASHRAE STANDARD 62.2, CEC EQUATION 150.0-B  
 $Q_{CFM} = .03(\text{FLOOR AREA}) + 7.5(\# \text{ OF BEDROOMS} + 1)$

**WHOLE DWELLING UNIT MECHANICAL VENTILATION**  
 PER SECTION 150.0(C)(i) [ASHRAE 62.2.4.1.2]  
 1 BED - MINIMUM CUBIC FEET PER MINUTE (CFM) (Equation 150.0-B)  
 $Q_{tot} = 0.03A_{floor} + 7.5(N_{br} + 1) \quad .03(\text{sf}) + 7.5(1+1) = \text{CFM} < 50 \text{ CFM}$

**EFFECTIVE ANNUAL AVERAGE INFILTRATION RATE**  
 PER SECTION 150.0(C)(ii)  
 a. (Equation 150.0-C)  $Q_{50} = V_{du}(x) 2 \text{ ACH}_{50} / 60 \text{ minutes}$   
 b. (Equation 150.0-D)  $Q_{50} = V_{du}(x) \text{ Verified } \text{ACH}_{50} / 60 \text{ minutes}$   
 c. (Equation 150.0-E)  $Q_{tot} = 0.052(x) Q_{50} \times w_{sf} \times [H/H']^2$  [ASHRAE 62.2.4.1.2.1]

**REQUIRED MECHANICAL VENTILATION RATE**  
 AND REQUIRED MECHANICAL VENTILATION RATE PER 150.0(C)(iii)  
 [ASHRAE 62.2.4.1.2]  
 (Equation 150.0-F)  $Q_{fan} = Q_{tot}(-) \phi (Q_{inf}(x) A_{ext})$



## 2 MECHANICAL FLOOR PLAN

AB-201 | AB-111 SCALE: 1/4" = 1'-0"

# PLUMBING FIXTURES

4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS  
 PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.

NOTE:  
 THIS TABLE COMPILES THE DATA IN SECTION 4.303.1 AND IS INCLUDED AS A CONVENIENCE FOR THE USER.

FIXTURE TYPE	FLOW RATE
SHOWER HEADS (RESIDENTIAL)	1.8 GMP @ 80 PSI
LAVATORY FAUCETS (RESIDENTIAL)	MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI
LAVATORY FAUCETS IN COMMON & PUBLIC USE AREAS	0.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GAL/CYCLE
WATER CLOSET	1.28 GAL/FLUSH
URINALS	0.125 GAL/FLUSH

# RCP NOTES

- HEIGHT OF CEILINGS SHALL BE MEASURED FROM TOP OF SLAB TO FINISH FACE OF GWB OR FACE OF CEILING GRID AS INDICATED ON THE REFLECTED CEILING PLAN, UON.
- ALL LIGHT FIXTURES ARE TO BE INSTALLED ACCORDING TO THE ARCHITECTURAL ELECTRICAL PLAN.
- REFER TO ARCHITECTURAL ELECTRICAL PLANS FOR FURTHER INFORMATION.
- REFER TO MECHANICAL PLANS FOR FURTHER INFORMATION.
- REFER TO FLOOR PLAN FOR ELEVATION AND SECTION REFERENCES.

# LEGEND

NOTE: ALL OUTDOOR OUTLETS SHALL HAVE GFCI PROTECTION AND WEATHERPROOF COVERS.

ELECTRICAL SWITCH	SMOKE DETECTOR/ALARM	DUPLEX OUTLET ARC-FAULT CIRCUIT INTERRUPTER
ELECTRICAL VACANCY SENSOR	COMBINATION SMOKE/CARBON MONOXIDE	DUPLEX OUTLET 240 VOLTS
ELECTRICAL SWITCH-FAN	TELEPHONE LOCATION	DUPLEX OUTLET GROUND FAULT INTERRUPTER
EXHAUST FAN W/HUMIDISTAT	CABLE TELEVISION LOCATION	DUPLEX OUTLET GROUND FAULT INTERRUPTER
WALL MOUNTED HIGH-EFFICACY LIGHT	CEILING FAN OPTIONAL (PRE WIRE FOR CEILING FAN ONLY)	DUPLEX OUTLET AFCI-HALF HOT
RECESSED HIGH-EFFICACY DOWNLIGHT	COLD WATER STUB OUT	HOT WATER STUB OUT
RECESSED HIGH-EFFICACY DOWNLIGHT VAPOR PROOF	WATER HOSE BIBB	WATER HOSE BIBB WITH SHUT OFF VALVE
ELECTRICAL WIRING	10' - 0" CEILING HEIGHT	22"x30" MIN. CEILING ACCESS PANEL

**PROTOTYPE ADU**  
**2 CAR GARAGE CONVERSION**  
 COACHELLA, CA  
**MECHANICAL AND ELECTRICAL**  
**PLANS AND REFLECTED CEILING**  
**PLAN - PLAN 6**

DATE  
 01/11/24  
 SHEET

A6-111

PUBLIC SET





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### GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
- REFER TO DOOR AND WINDOW SCHEDULES AND TYPES FOR DOOR AND WINDOW INFORMATION.
- REFER TO PLOT PLAN FOR PLAN TYPE, ELEVATION STYLE AND COLOR SCHEME.
- THE NOMINAL THICKNESS AND ATTACHMENT OF EXTERIOR WALL COVERINGS SHALL BE IN ACCORDANCE WITH CRC TABLE R703.3(1).
- ANCHORED VENEER, BRICK, CONCRETE, MASONRY OR STONE IN ACCORDANCE WITH CRC R703.8
- ADHERED VENEER, CONCRETE, STONE OR MASONRY IN ACCORDANCE WITH CRC R703.12
- EXTERIOR PLASTER (STUCCO) INSTALLATION SHALL COMPLY WITH THE PROVISIONS OF CRC R703.7 AND COMPLIANCE WITH ASTM C926 AND ASTM C1063. STANDARD SPECIFICATIONS FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER, INCLUDING INSTALLATION OF CONTROL JOINTS.
- GYPSUM SHEATHING SHALL BE ATTACHED TO EXTERIOR WALLS IN ACCORDANCE WITH CRC TABLE R602.3.
- CLADDING ATTACHMENT OVER FOAM SHEATHING TO WOOD FRAMING IN ACCORDANCE WITH CRC R703.15. REFER TO CRC R703.8 FOR ANCHORED MASONRY OR STONE VENEER INSTALLED OVER FOAM SHEATHING.

### KEYNOTES

- B14 50 GALLON TANK TYPE ELECTRIC WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. STRAPPING DETAIL S1/AD-902.
- B18 ELECTRIC PANEL TBD.
- B38 MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE.
- H08 ATTIC VENT. PAINT FINISH TO MATCH ROOF COLOR. REFER TO COLORS AND MATERIALS.
- K01 CONCRETE S-TILE. ESR REPORT TO BE PROVIDED BY OWNER
- L02 1x8 FIBER CEMENT FASCIA.
- L13 EXTERIOR LIGHT SCHEME A. DARK SKY AND TITLE 24 COMPLIANT.
- M02 DOWNSPOUT. CONNECT TO STORM DRAIN SYSTEM
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- U06 CONCRETE SLAB FOUNDATION PER STRUCTURAL. 10 MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS.
- U07 LEVEL EXISTING FLOOR SLAB

### VENTING REQUIRED

ROOF VENTILATION - REQUIRED - 2 CAR GARAGE CONVERSION			
ATTIC ZONE	AREA	FACTOR	REQUIRED SI
ATTIC-2 CAR GARAGE CONVERSION	441 SF	0.0033	212 in <sup>2</sup>

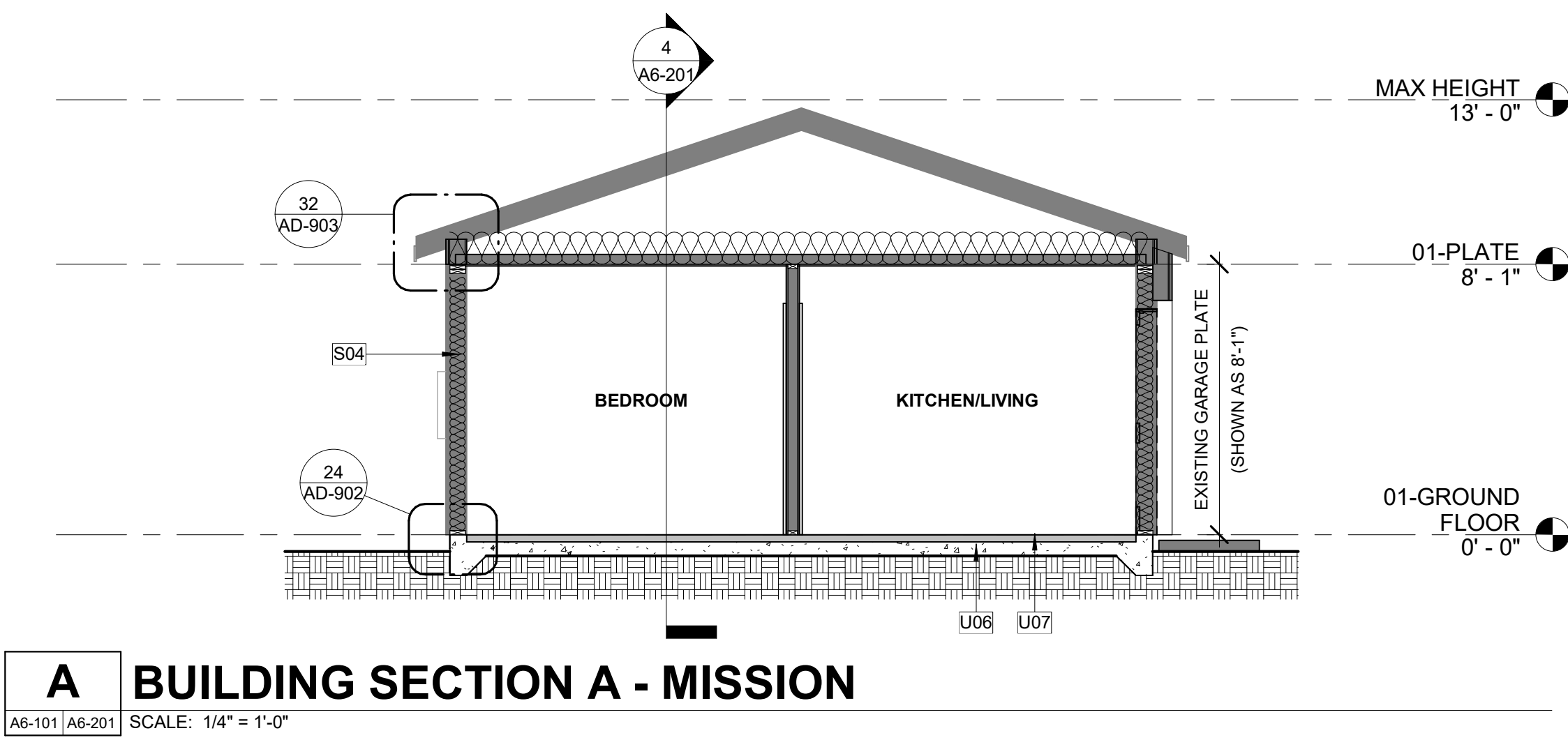
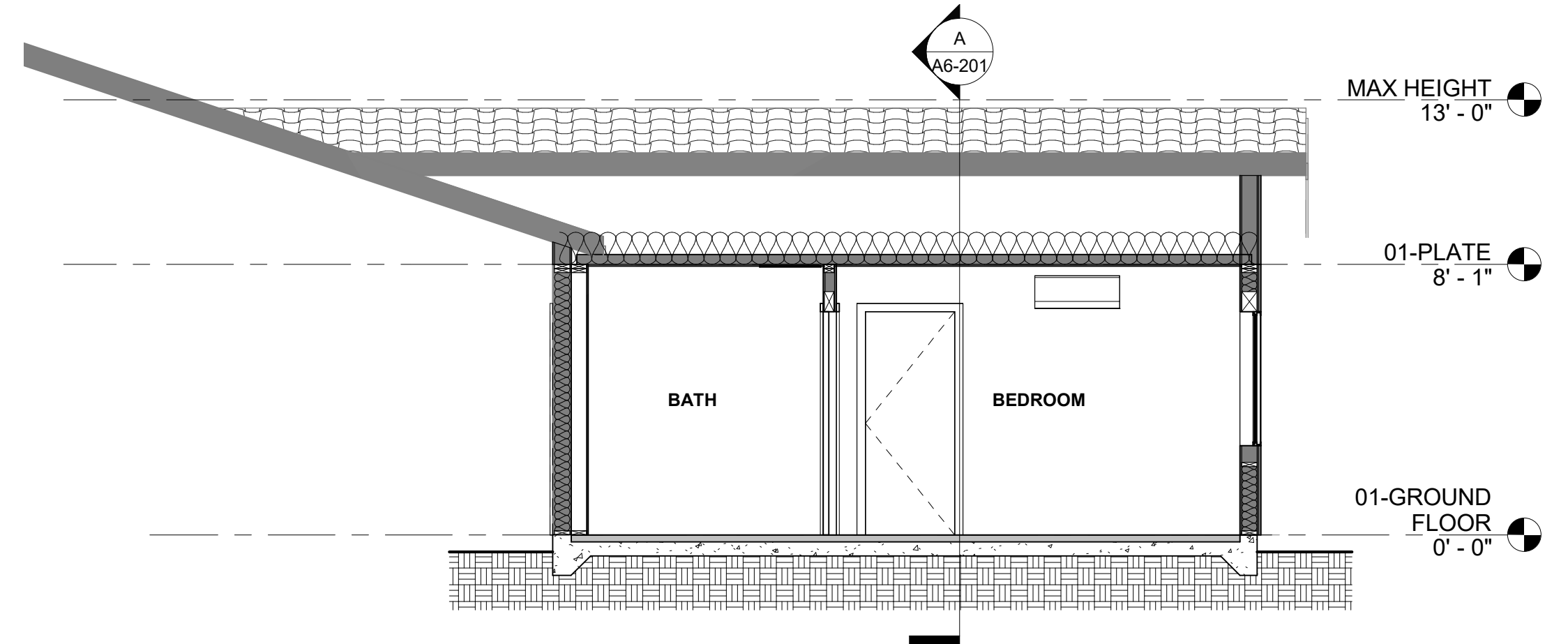
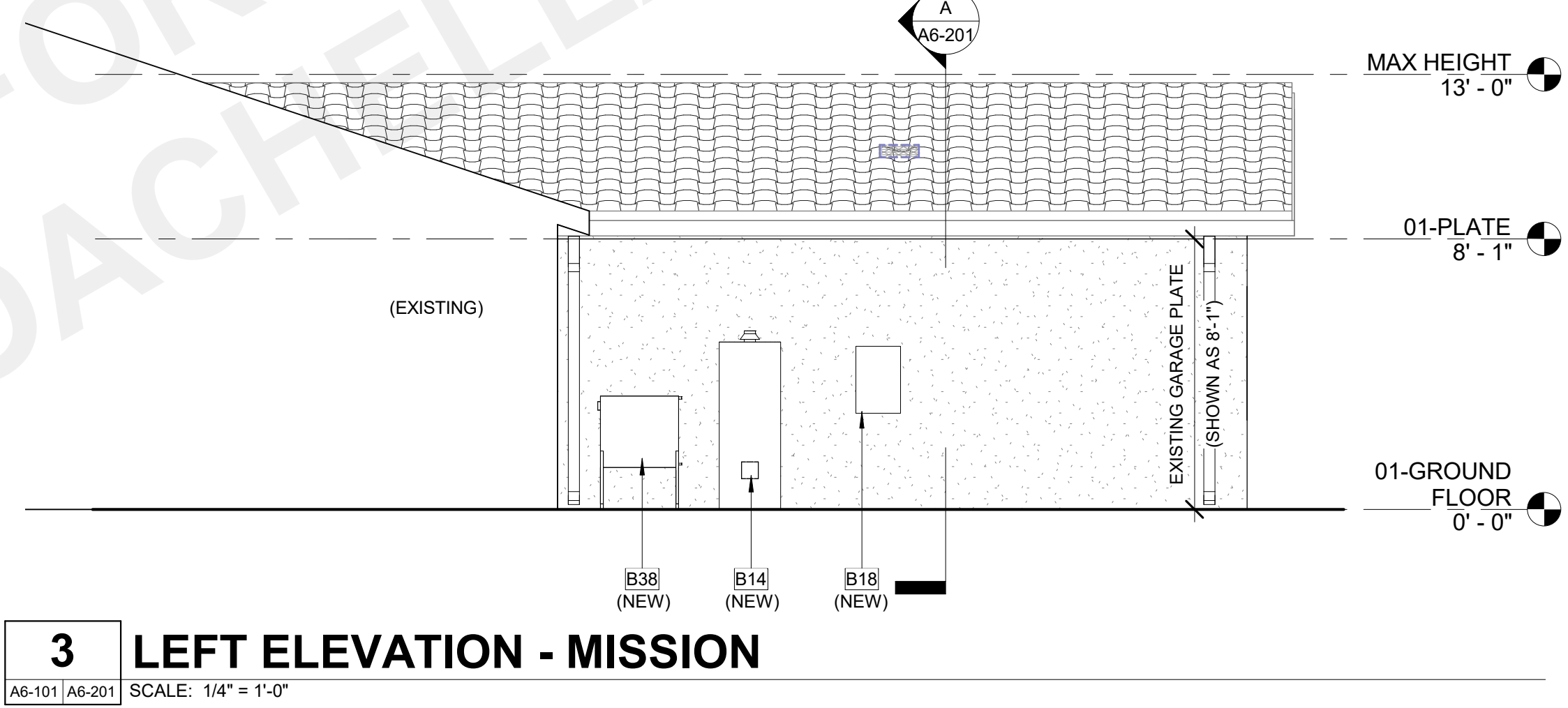
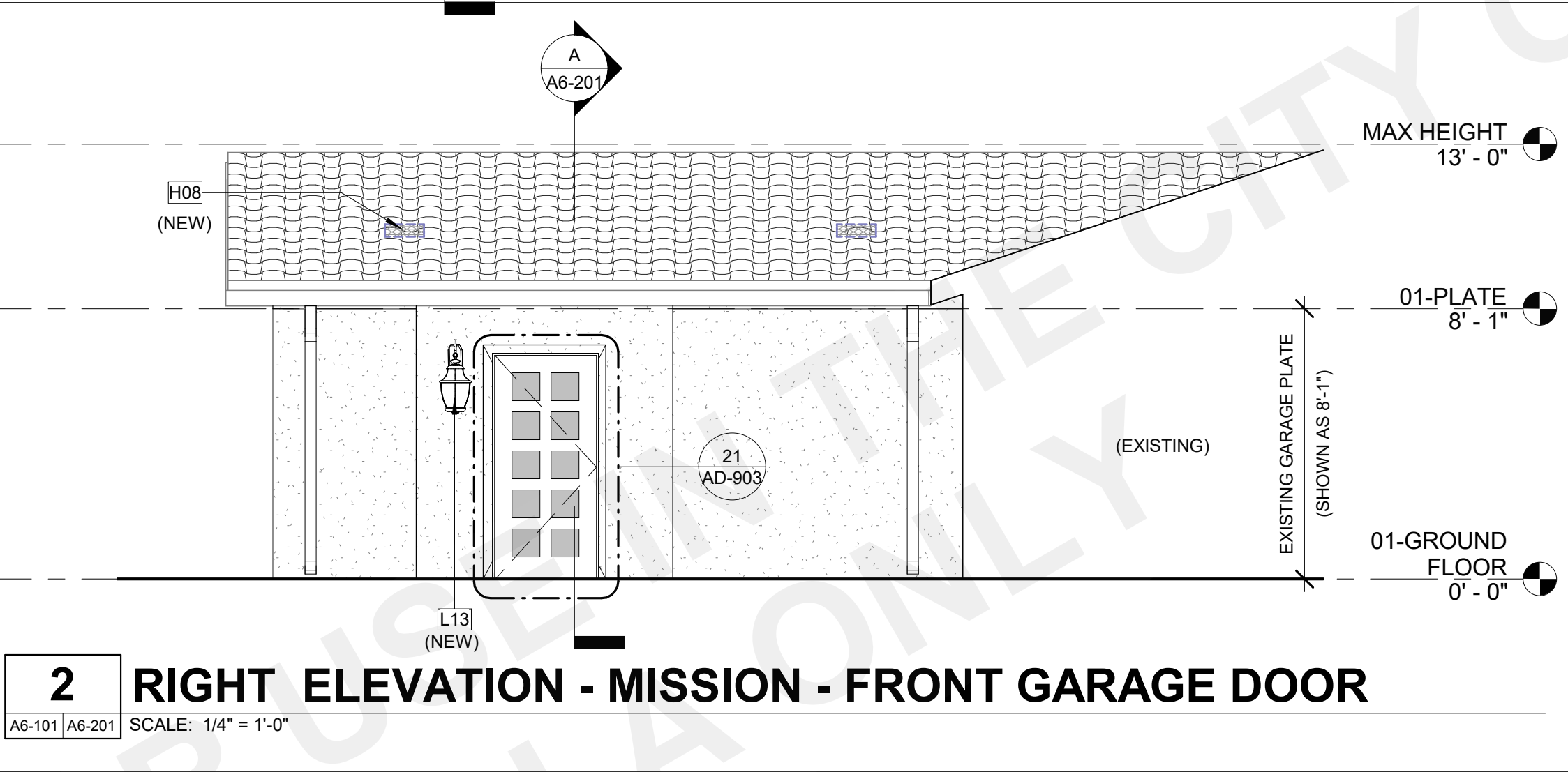
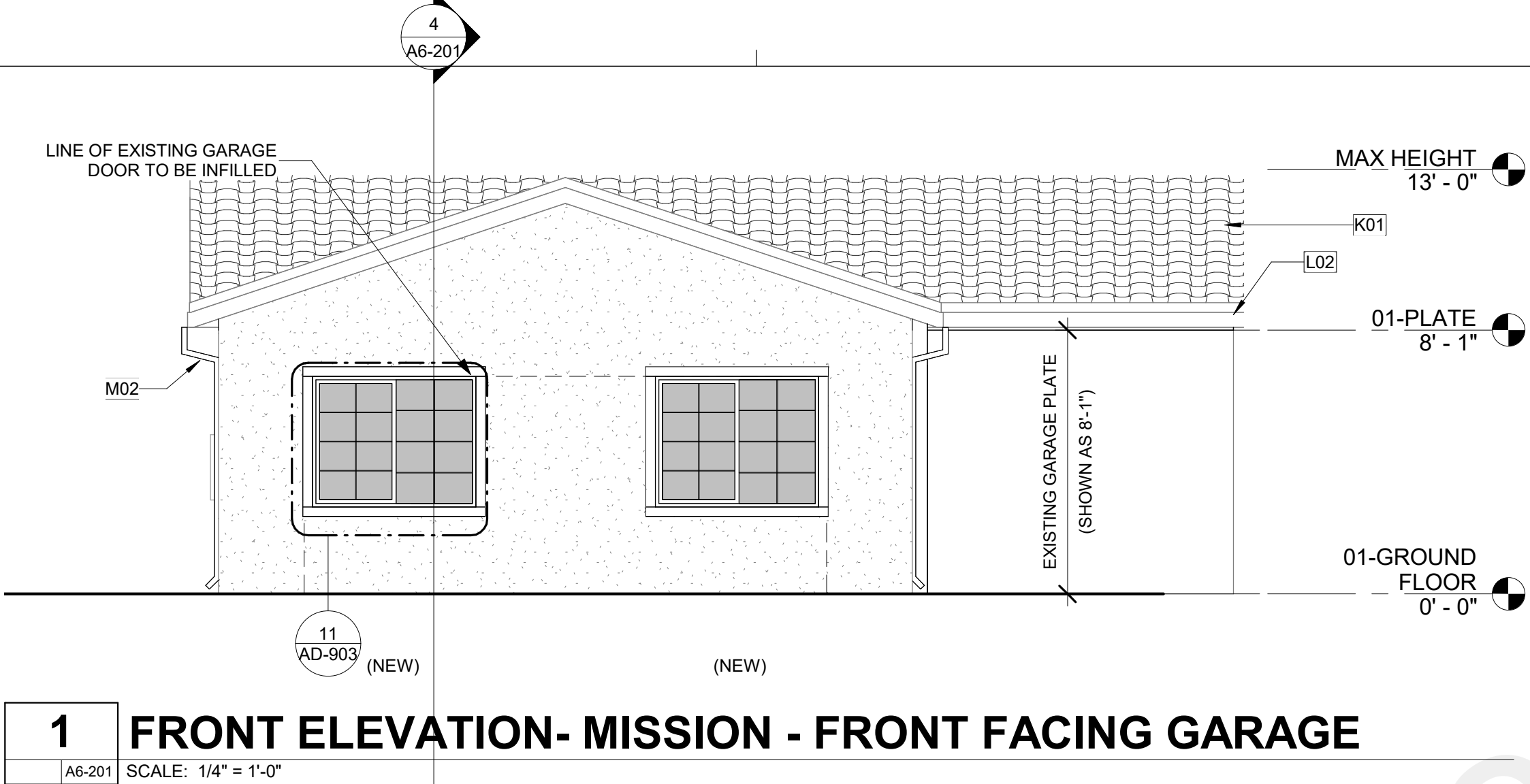
### VENTING PROPOSED

ATTIC ZONE	NUMBER	VENT TYPE	FREE AREA
2 CAR GARAGE CONVERSION	3	O'HAGIN FIRE & ICE	292.50 in <sup>2</sup>
HIGH			292.50 in <sup>2</sup>
			292.50 in <sup>2</sup>

### LEGEND

NOTE: EXTERIOR WALL COVERINGS SHALL BE EITHER A NON-COMBUSTIBLE MATERIAL, AN IGNITION RESISTANT MATERIAL, OR OTHERWISE COMPLY WITH THE REQUIREMENTS SET FORTH IN THE 2022 CRC SECTION R337.7.

- EXISTING WALL COVERING
- NEW EXTERIOR FINISH AND COLOR TO MATCH THAT OF PRINCIPAL DWELLING
- 10'-0" HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CRICKETS AND INSULATION)
- ROOF SLOPE (REFER TO ROOF PLAN FOR ACTUAL SLOPE)
- ROOF VENT - O'HAGIN FIRE & ICE LINE - FLAME AND EMBER RESISTANT VENT (CRC R337 COMPLIANT)
- S-TILE OR COMPOSITE SHINGLE TYPE PER EXISTING ROOF TYPE
- EXISTING ROOFING MATERIAL





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### GENERAL NOTES

- REFER TO GENERAL NOTES SHEET G-102 FOR ADDITIONAL REQUIREMENTS
- SEE DETAILS FOR ADDITIONAL INFORMATION AND REQUIREMENTS.
- REFER TO ROOF PLAN FOR OVERHANGS, FASCIA PER DETAILS. PROVIDE ALUMINUM GUTTER. SEE ROOF PLAN FOR APPROXIMATE DOWNSPOUT LOCATIONS, U.N.O.
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### KEYNOTES

- B14 50 GALLON TANK TYPE ELECTRIC WATER HEATER. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE. STRAPPING DETAIL S1/AD-902
- B18 ELECTRIC PANEL TBD.
- B38 MULTI-ZONE HEAT PUMP CONDENSING UNIT. REFER TO PLANS FOR LOCATION OF INDOOR FAN FAN COIL UNITS. REFER TO TITLE 24 FOR ADDITIONAL INFORMATION. PROVIDE CONCRETE PAD MIN. 6" LARGER THAN UNIT IN EACH DIRECTION. 3" MIN. ABOVE GRADE.
- L14 EXTERIOR LIGHT SCHEME B. DARK SKY AND TITLE 24 COMPLIANT.
- S04 2X8 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- U06 CONCRETE SLAB FOUNDATION PER STRUCTURAL. 10 MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS.
- U07 LEVEL EXISTING FLOOR SLAB

### VENTING REQUIRED

ROOF VENTILATION - REQUIRED - 2 CAR GARAGE CONVERSION			
ATTIC ZONE	AREA	FACTOR	REQUIRED SI
ATTIC-2 CAR GARAGE CONVERSION	441 SF	0.0033	212 in <sup>2</sup>

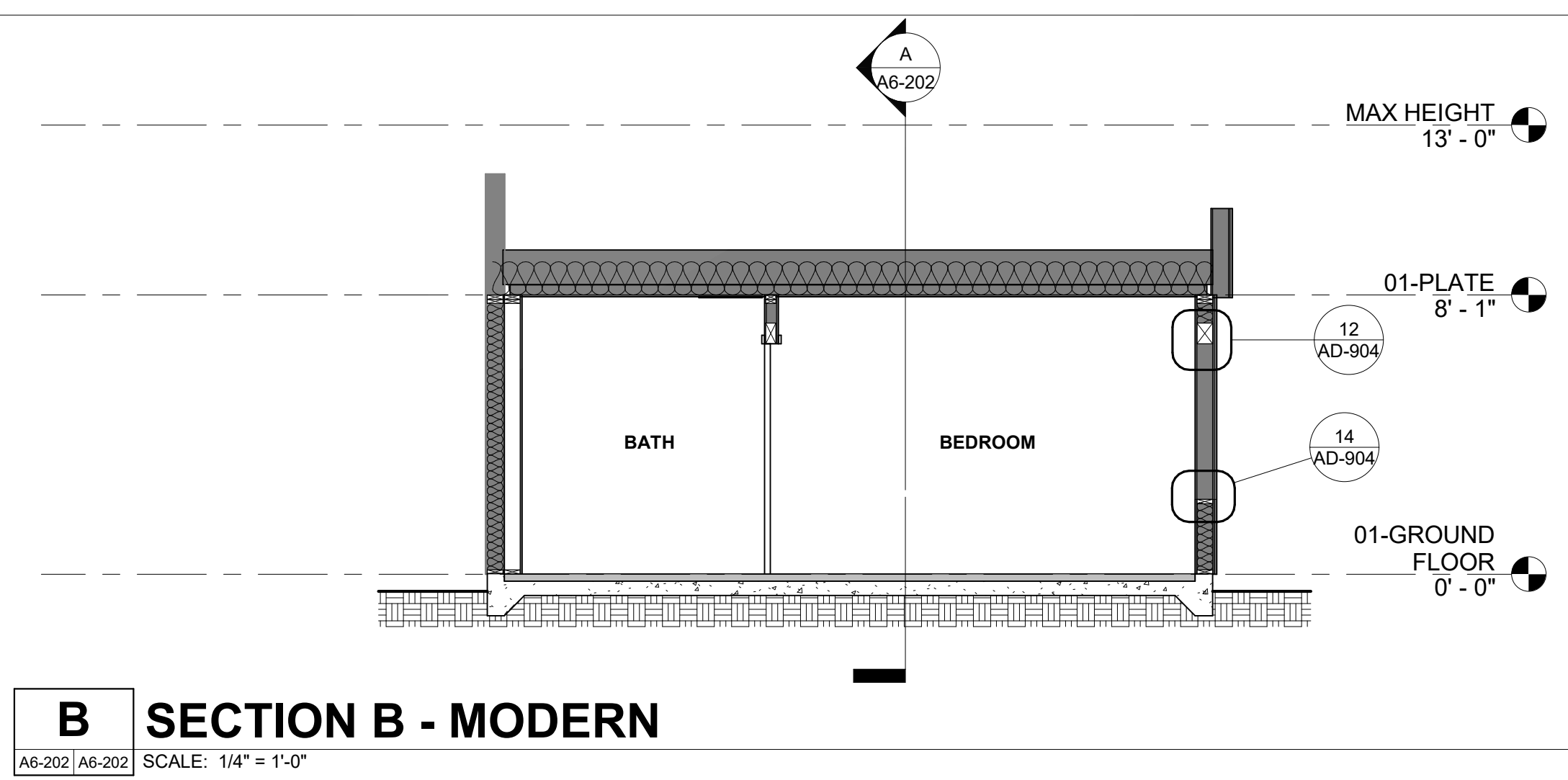
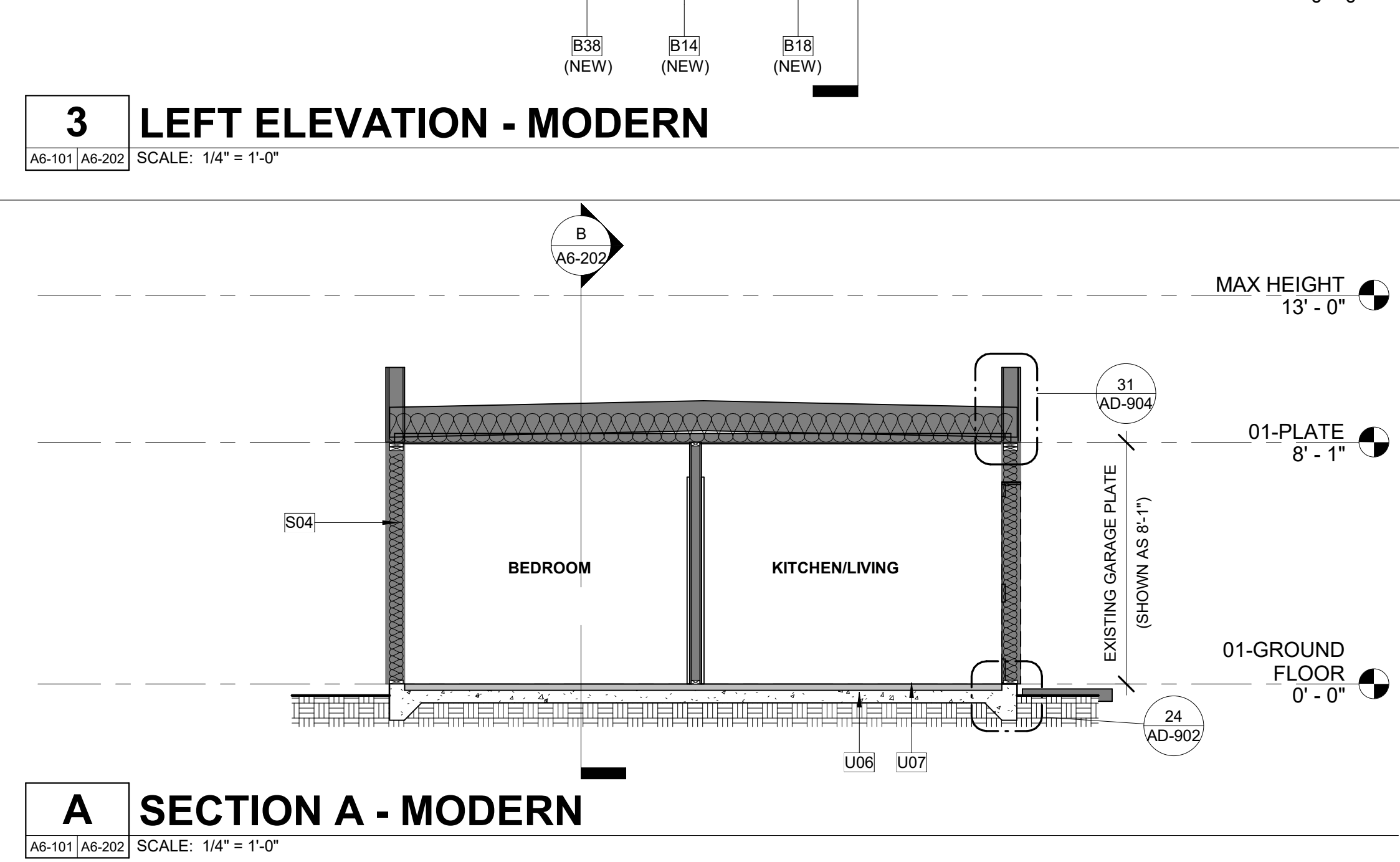
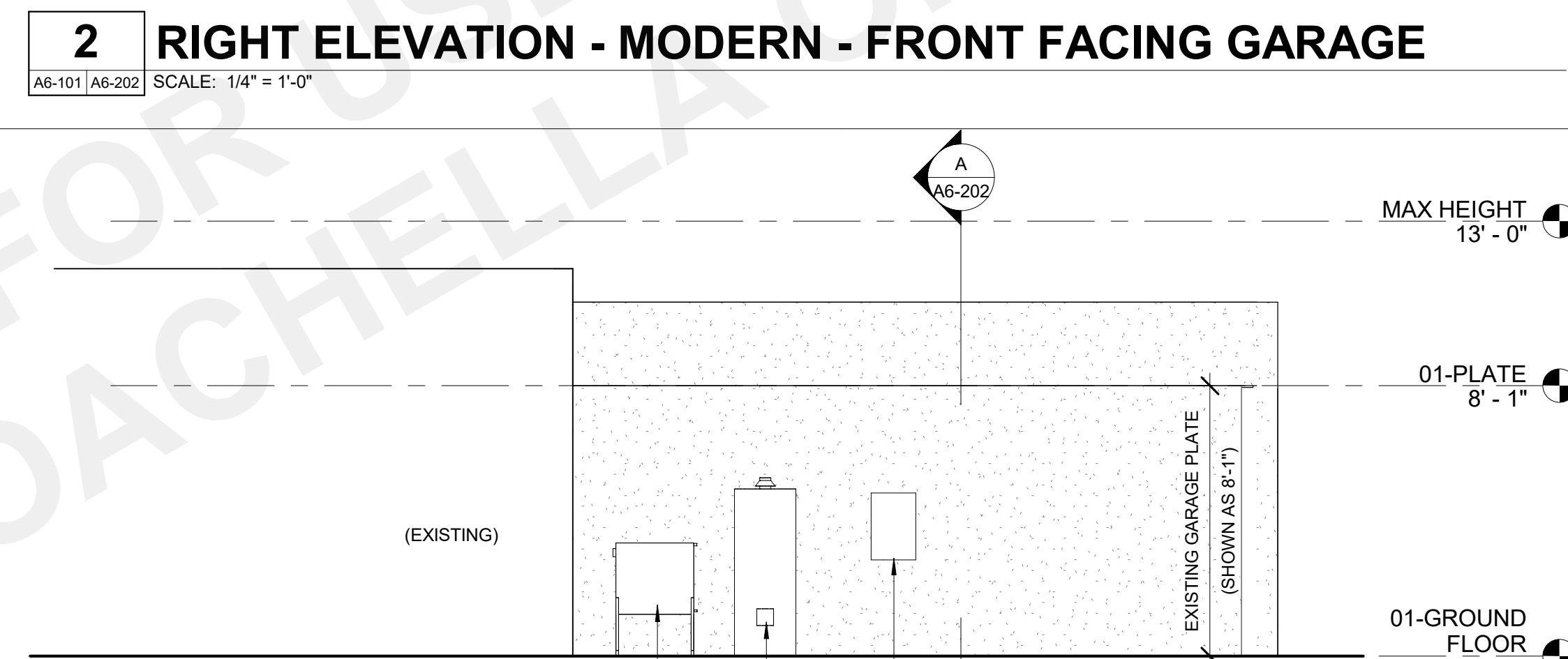
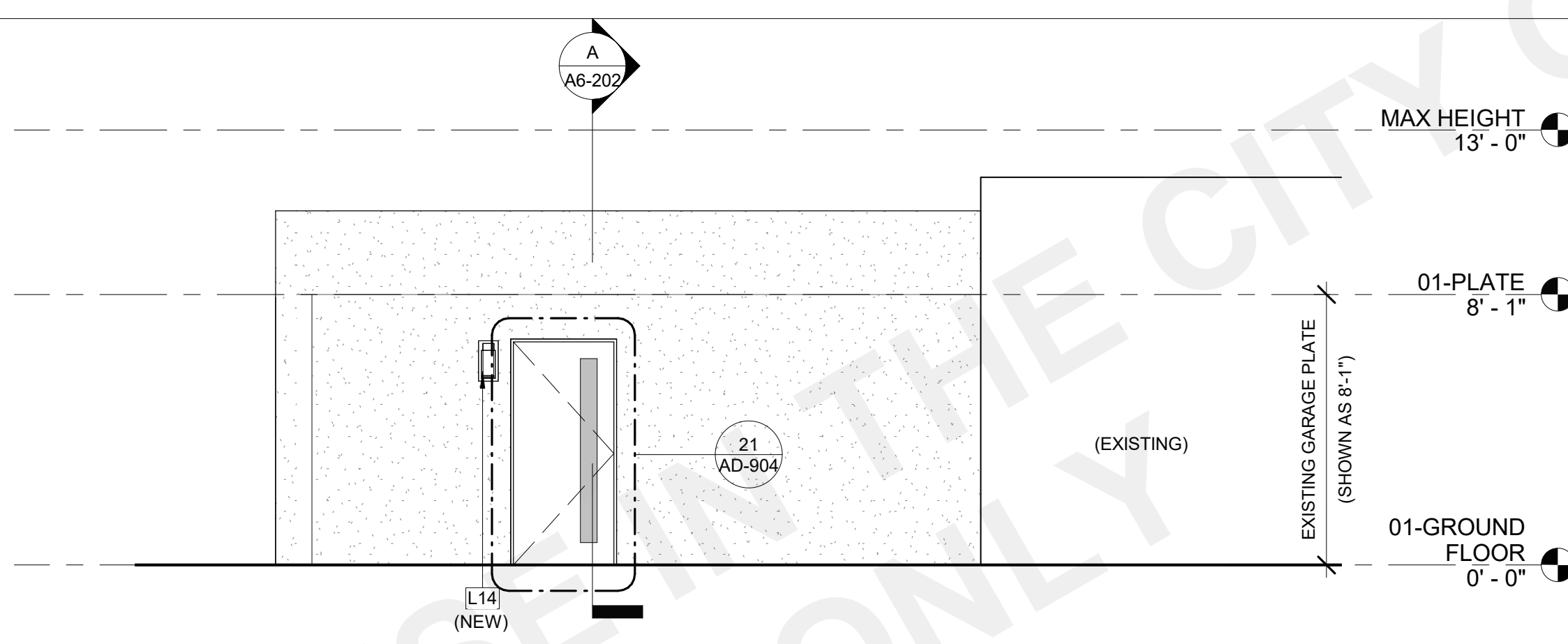
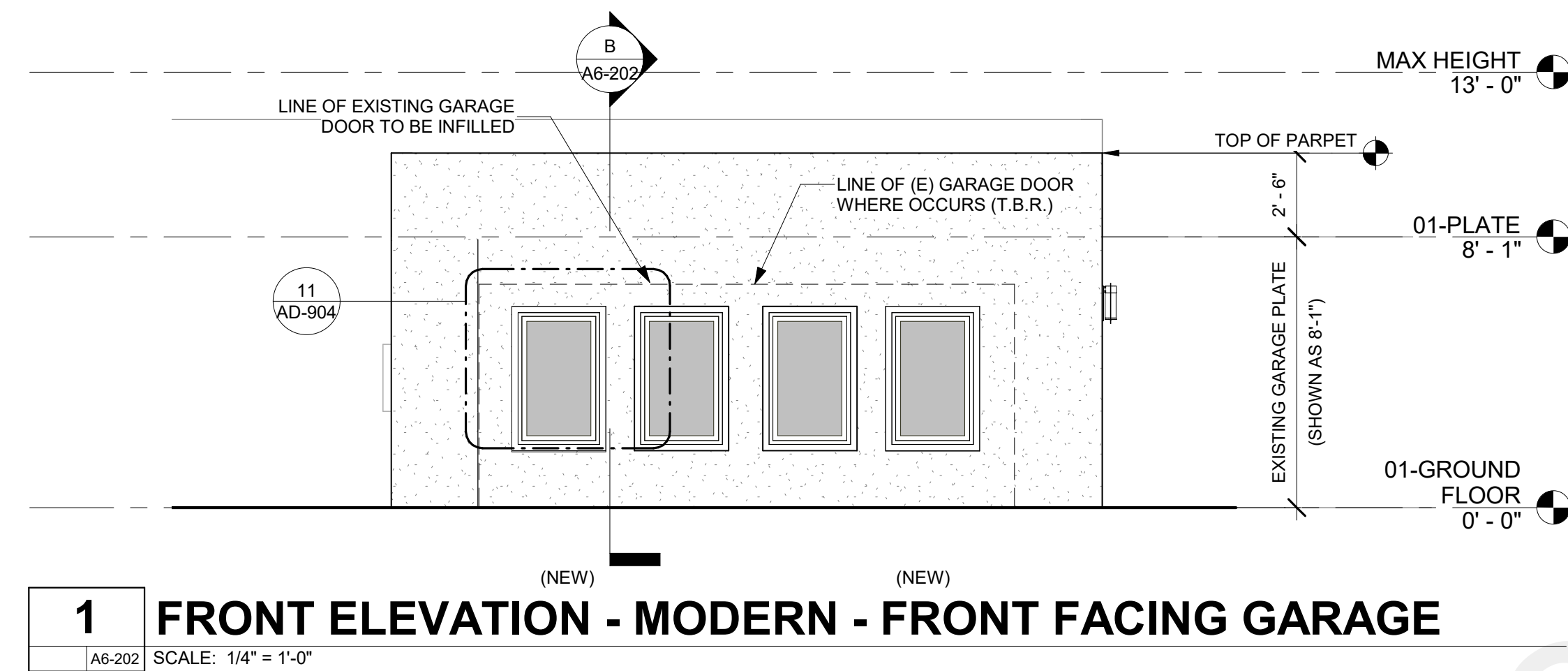
### VENTING PROPOSED

ATTIC ZONE	NUMBER	VENT TYPE	FREE AREA
2 CAR GARAGE CONVERSION	3	O'HAGIN FIRE & ICE	292.50 in <sup>2</sup>
HIGH			292.50 in <sup>2</sup>
			292.50 in <sup>2</sup>

### LEGEND

NOTE: EXTERIOR WALL COVERINGS SHALL BE EITHER A NON-COMBUSTIBLE MATERIAL, AN IGNITION RESISTANT MATERIAL, OR OTHERWISE COMPLY WITH THE REQUIREMENTS SET FORTH IN THE 2022 CRC SECTION R337.7.

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- NEW EXTERIOR FINISH AND COLOR TO MATCH THAT OF PRINCIPAL DWELLING
- HEIGHT OF TOP OF ROOFING SURFACE (INCLUDING CRICKETS AND INSULATION)
- ROOF SLOPE (REFER TO ROOF PLAN FOR ACTUAL SLOPE)
- ROOF VENT - O'HAGIN FIRE & ICE LINE - FLAME AND EMBER RESISTANT VENT (CRC R337 COMPLIANT)
- S-TILE OR COMPOSITE SHINGLE TYPE PER EXISTING ROOF TYPE
- EXISTING ROOFING MATERIAL



**PROTOTYPE ADU**  
**2 CAR GARAGE CONVERSION**  
 COACHELLA, CA  
**EXT. ELEVATIONS & SECTIONS -**  
**PLAN 6 - MODERN**

PUBLIC SET

DATE  
01/11/24

SHEET  
**A6-202**

THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONSTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

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### KEYNOTES

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- K01 CONCRETE S-TILE. ESR REPORT TO BE PROVIDED BY OWNER
- L15 EXTERIOR LIGHT SCHEME C. DARK SKY AND TITLE 24 COMPLIANT.
- L21 FAUX SHUTTERS
- M01 GUTTER. CONNECT TO DOWNSPOUT. PROVIDE MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS IN GUTTER PER CRC R327.5.4
- M02 DOWNSPOUT. CONNECT TO STORM DRAIN SYSTEM
- S04 2X6 WALL INSULATION. REFER TO TITLE 24 (R-21 MIN.)
- U06 CONCRETE SLAB FOUNDATION PER STRUCTURAL. 10 MIL VAPOR RETARDER CONFORMING TO ASTM E1745 CLASS A REQUIREMENTS.
- U07 LEVEL EXISTING FLOOR SLAB

### VENTING REQUIRED

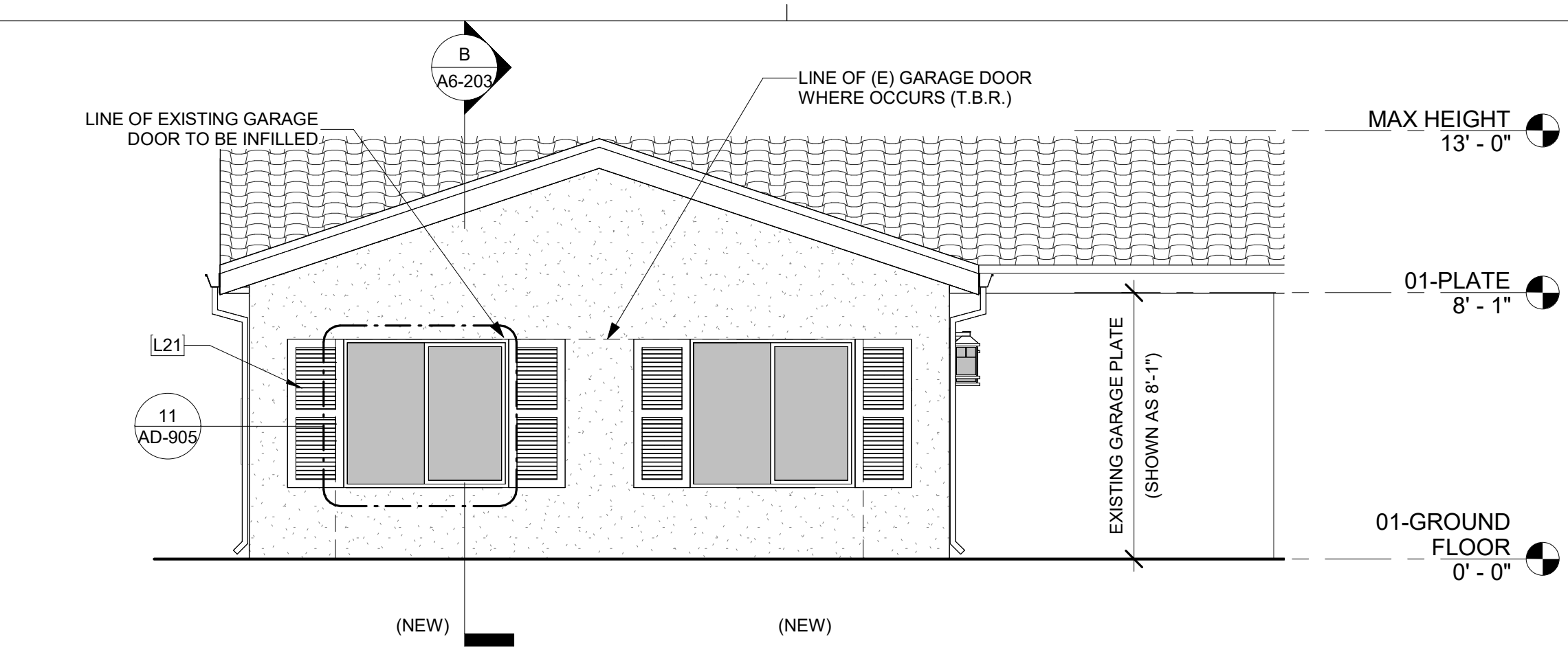
ROOF VENTILATION - REQUIRED - 2 CAR GARAGE CONVERSION			
ATTIC ZONE	AREA	FACTOR	REQUIRED SI
ATTIC-2 CAR GARAGE CONVERSION	441 SF	0.0033	212 in <sup>2</sup>

### VENTING PROPOSED

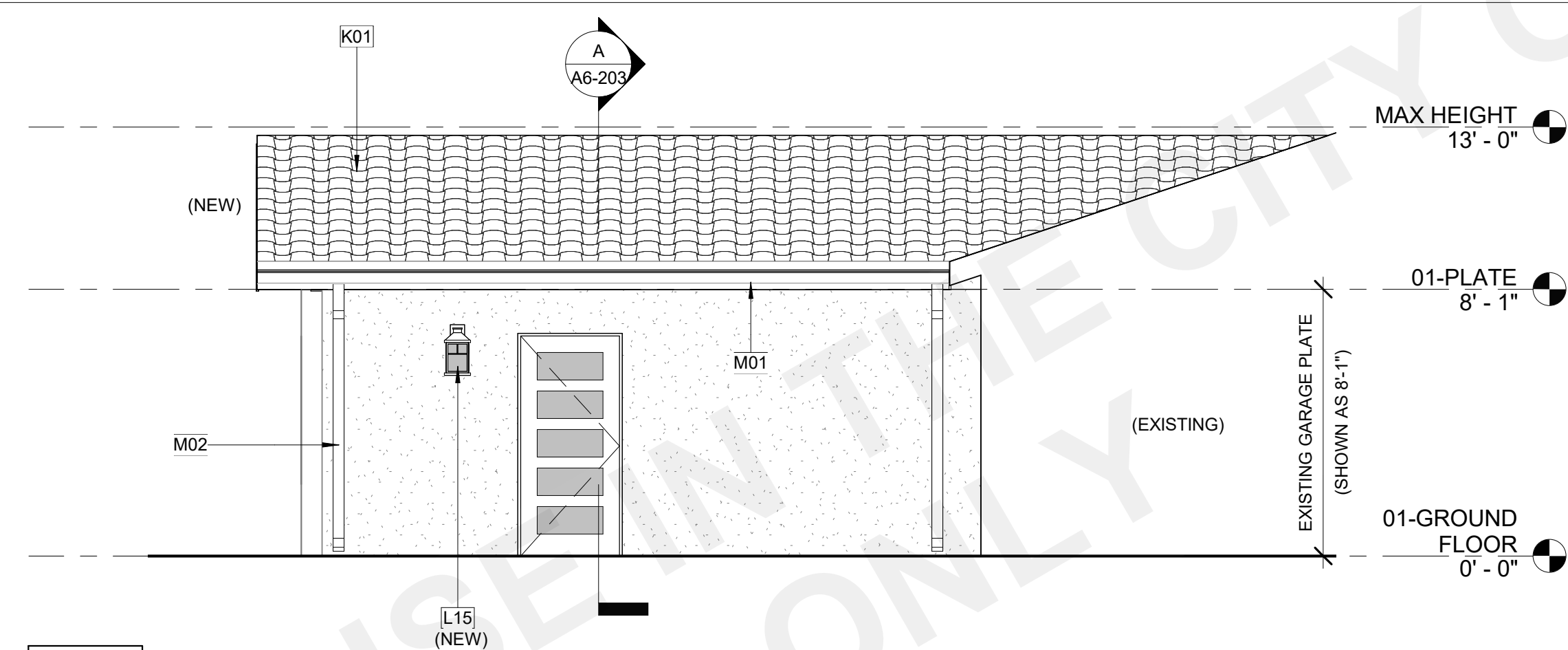
ATTIC ZONE	NUMBER	VENT TYPE	FREE AREA
2 CAR GARAGE CONVERSION	3	O'HAGIN FIRE & ICE	292.50 in <sup>2</sup>
HIGH			292.50 in <sup>2</sup>
			292.50 in <sup>2</sup>

### LEGEND

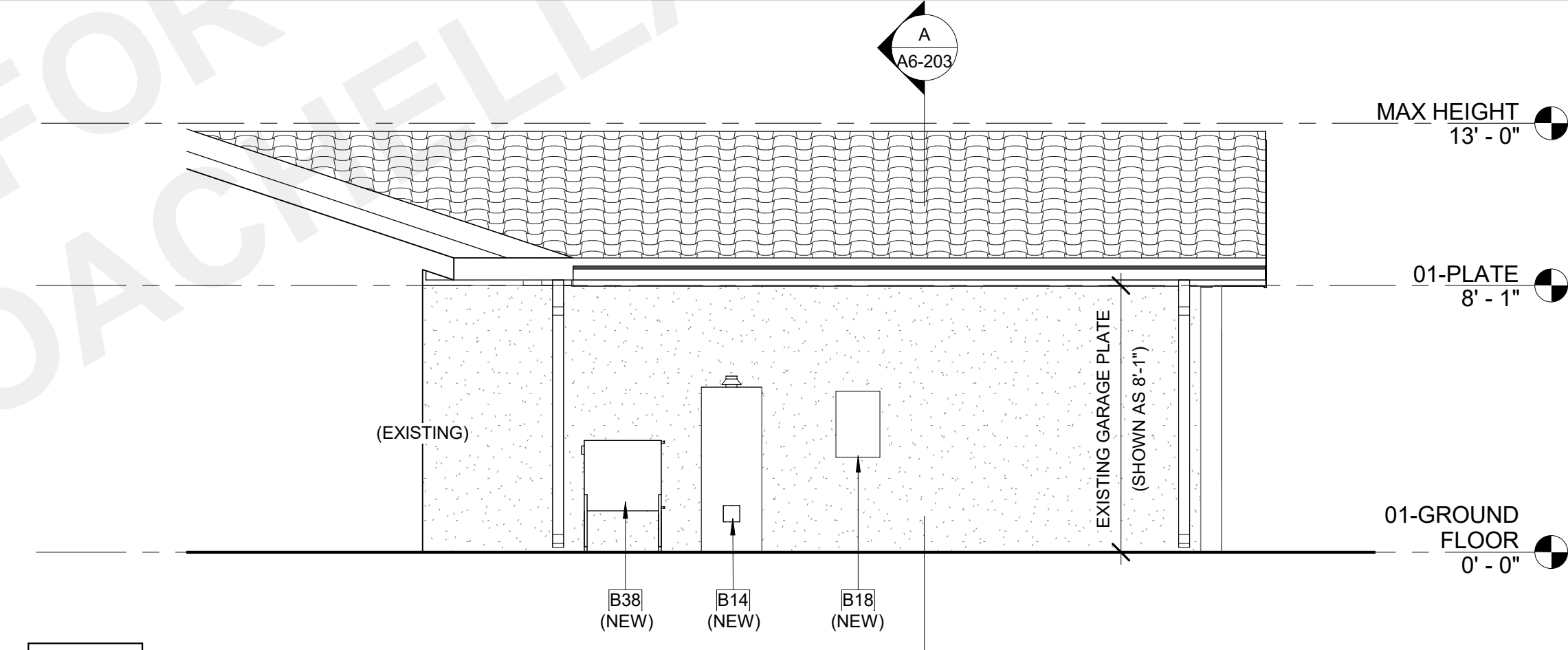
- NOTE:** EXTERIOR WALL COVERINGS SHALL BE EITHER A NON-COMBUSTIBLE MATERIAL, AN IGNITION RESISTANT MATERIAL, OR OTHERWISE COMPLY WITH THE REQUIREMENTS SET FORTH IN THE 2022 CRC SECTION R337.7.
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  - ROOF SLOPE (REFER TO ROOF PLAN FOR ACTUAL SLOPE)
  - ROOF VENT - O'HAGIN FIRE & ICE LINE - FLAME AND EMBER RESISTANT VENT (CRC R337 COMPLIANT)
  - S-TILE OR COMPOSITE SHINGLE TYPE PER EXISTING ROOF TYPE
  - EXISTING ROOFING MATERIAL



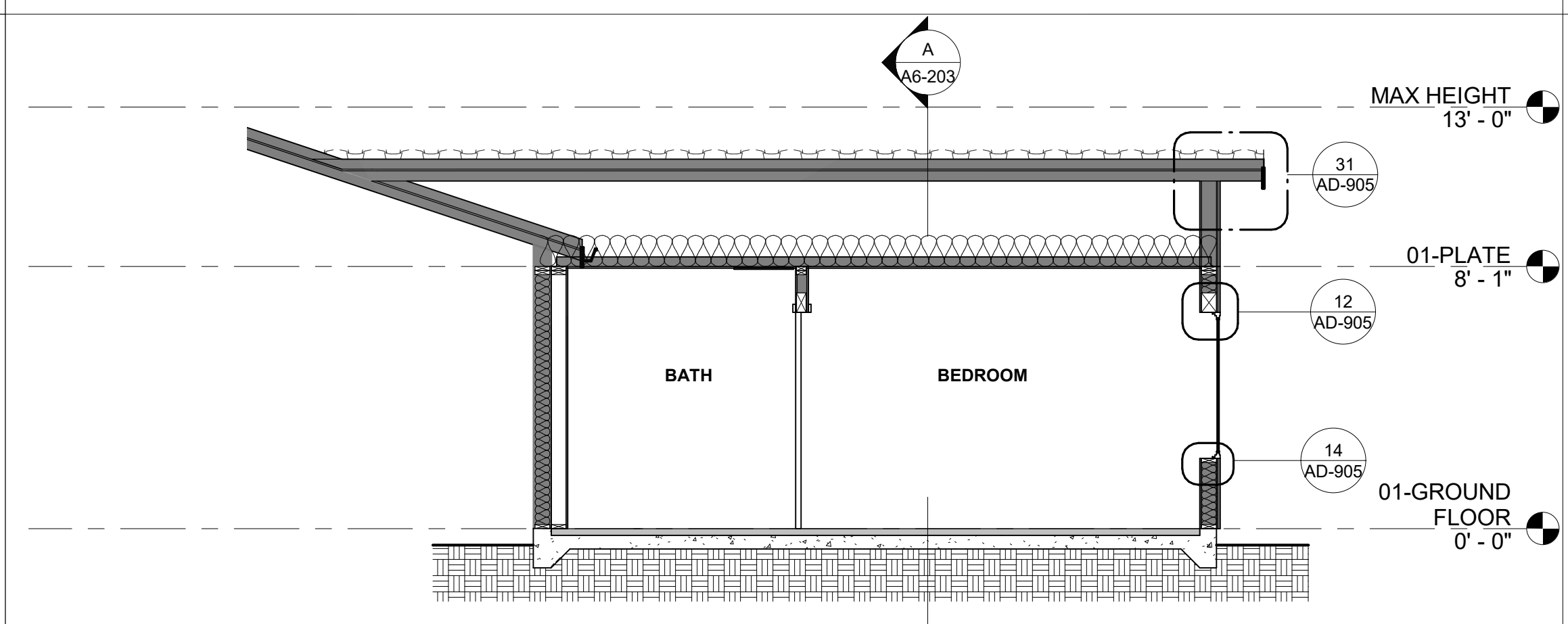
**1b FRONT ELEVATION - SPANISH - FRONT FACING GARAGE**  
 A6-203 SCALE: 1/4" = 1'-0"



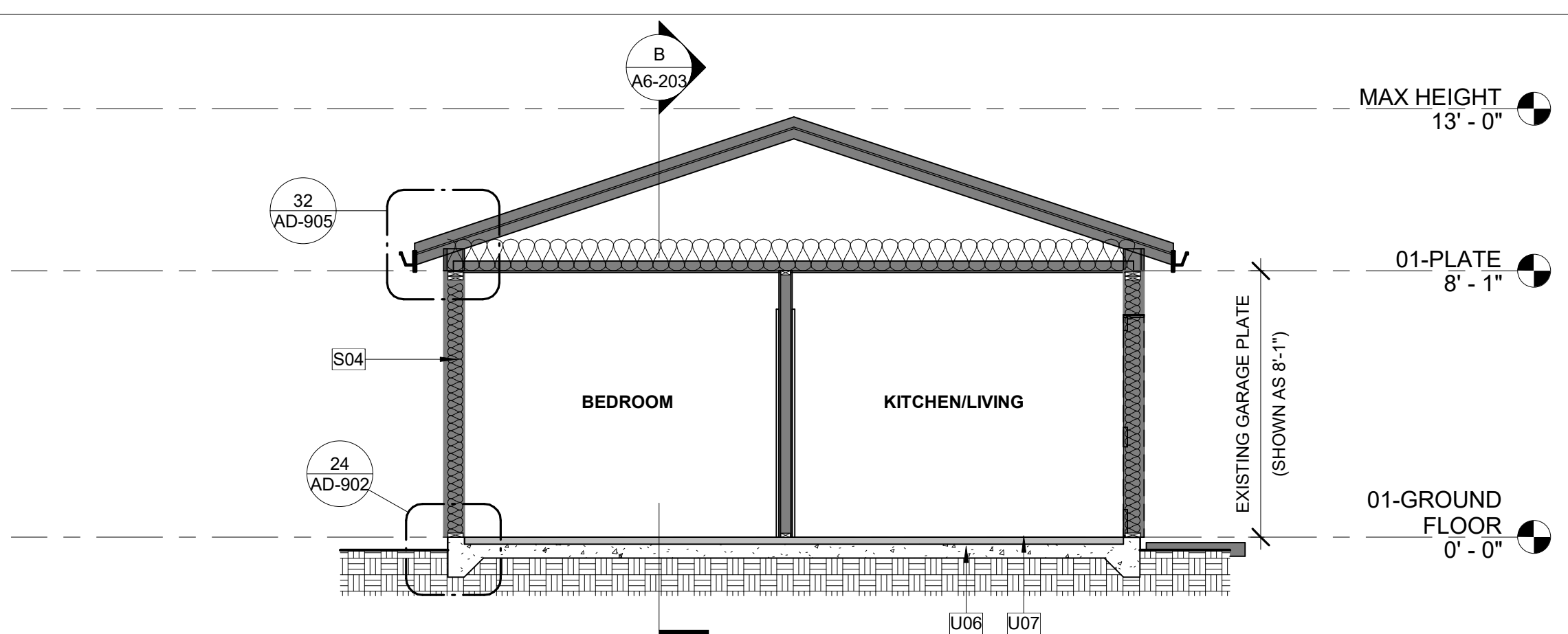
**2b RIGHT ELEVATION - SPANISH - FRONT FACING GARAGE**  
 A6-101 | A6-203 SCALE: 1/4" = 1'-0"



**3 LEFT ELEVATION - SPANISH**  
 A6-203 SCALE: 1/4" = 1'-0"



**B SECTION B - SPANISH**  
 A6-203 | A6-203 SCALE: 1/4" = 1'-0"



**A SECTION A - SPANISH**  
 A6-101 | A6-203 SCALE: 1/4" = 1'-0"

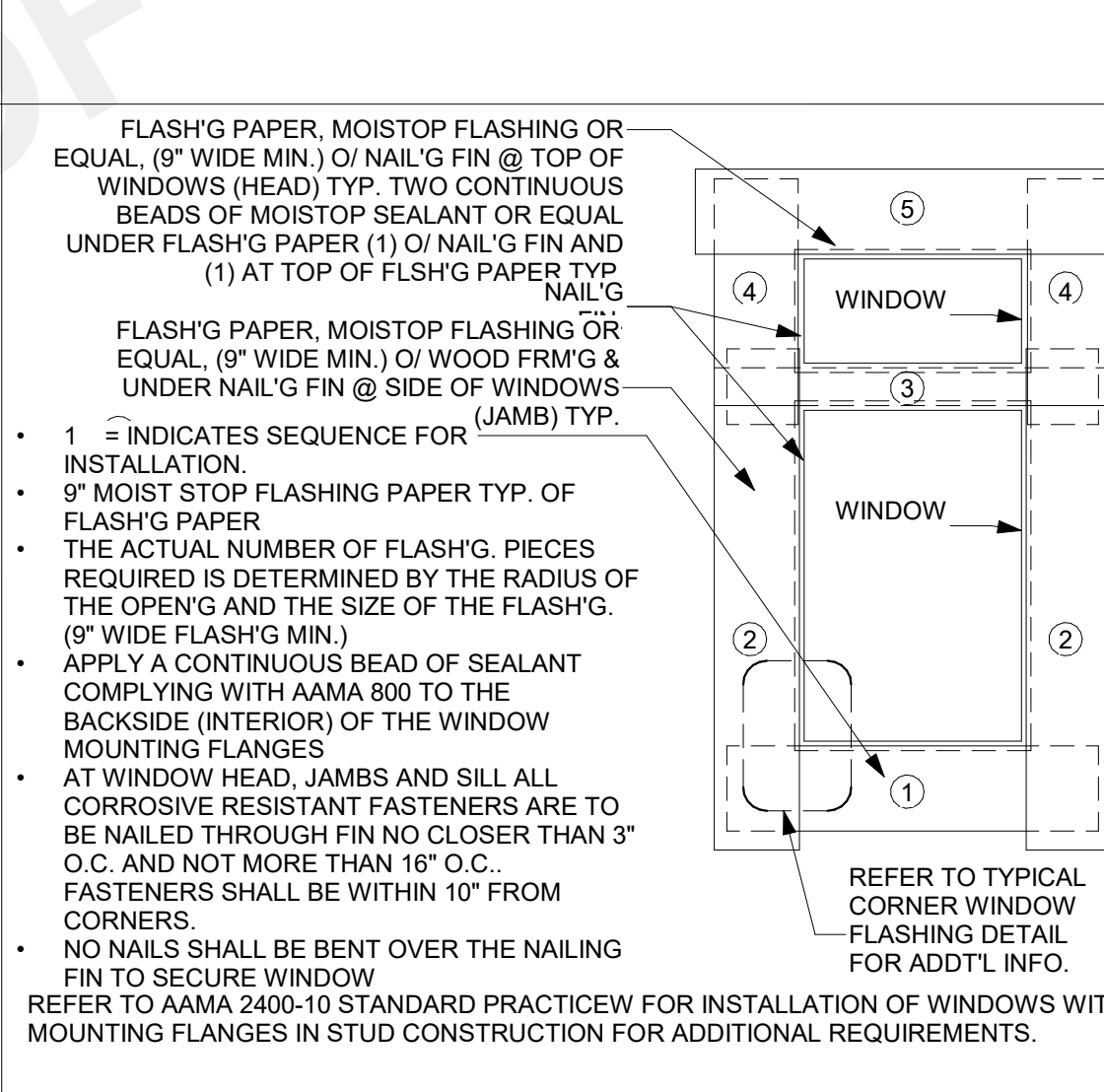
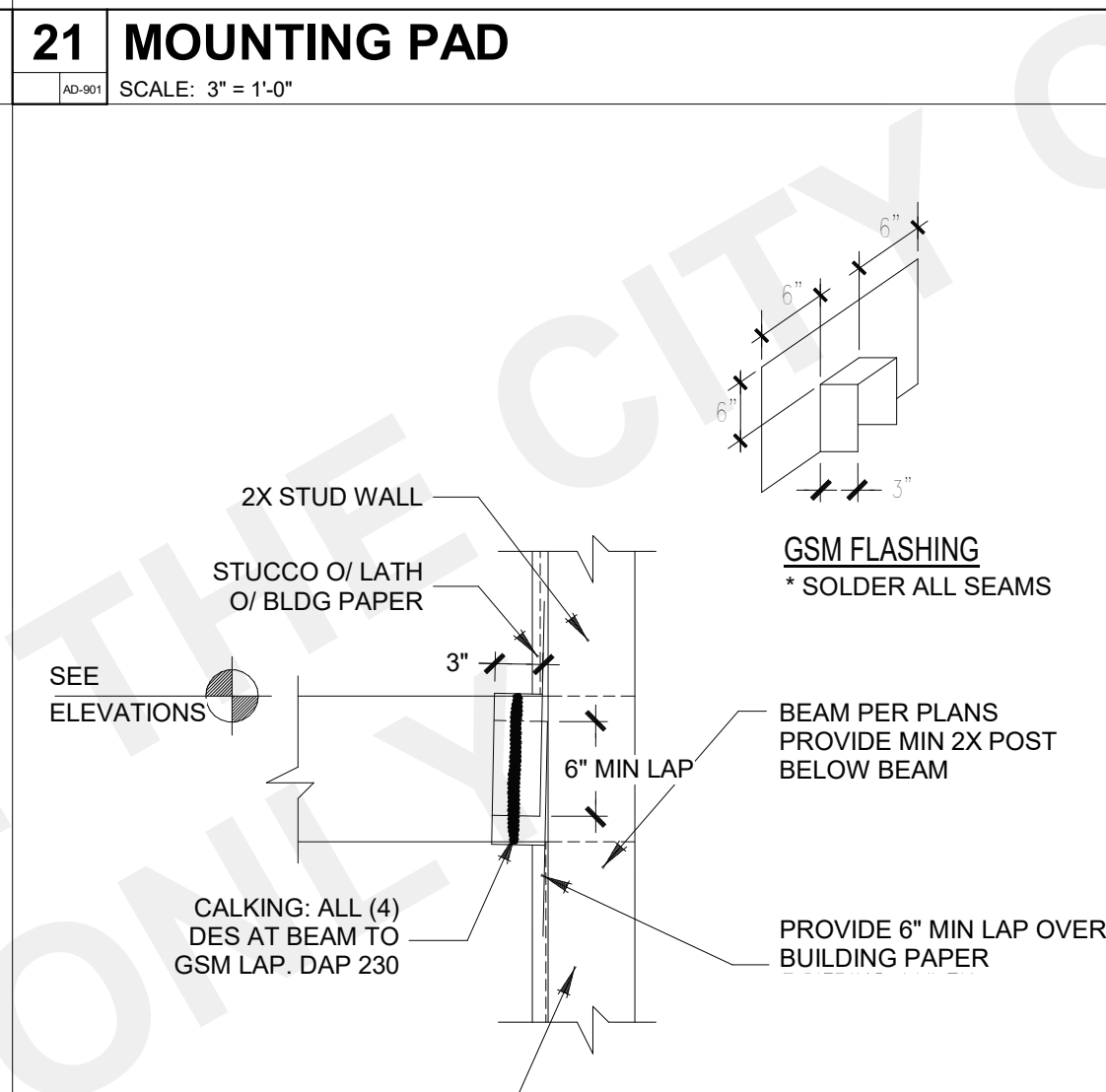
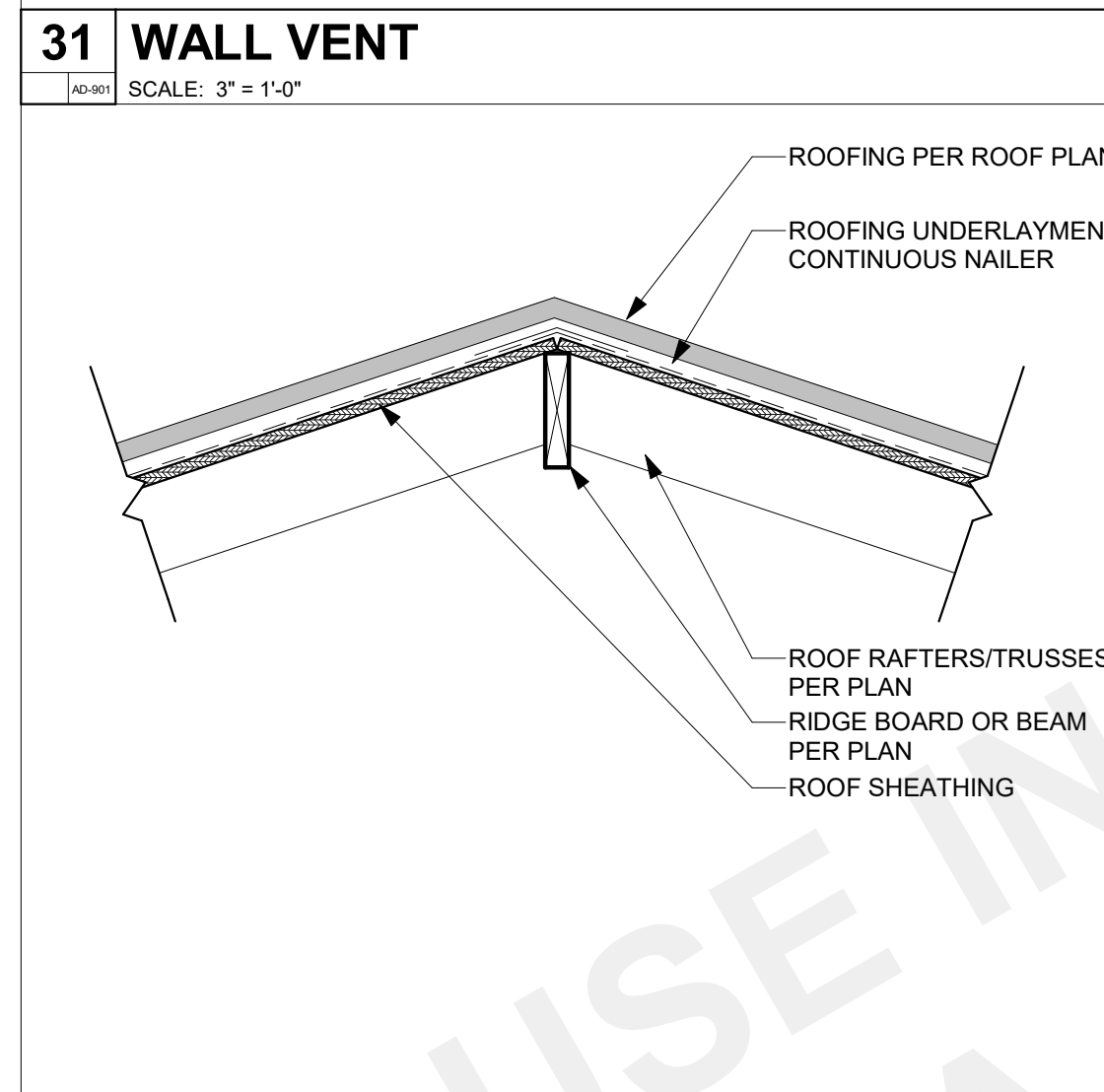
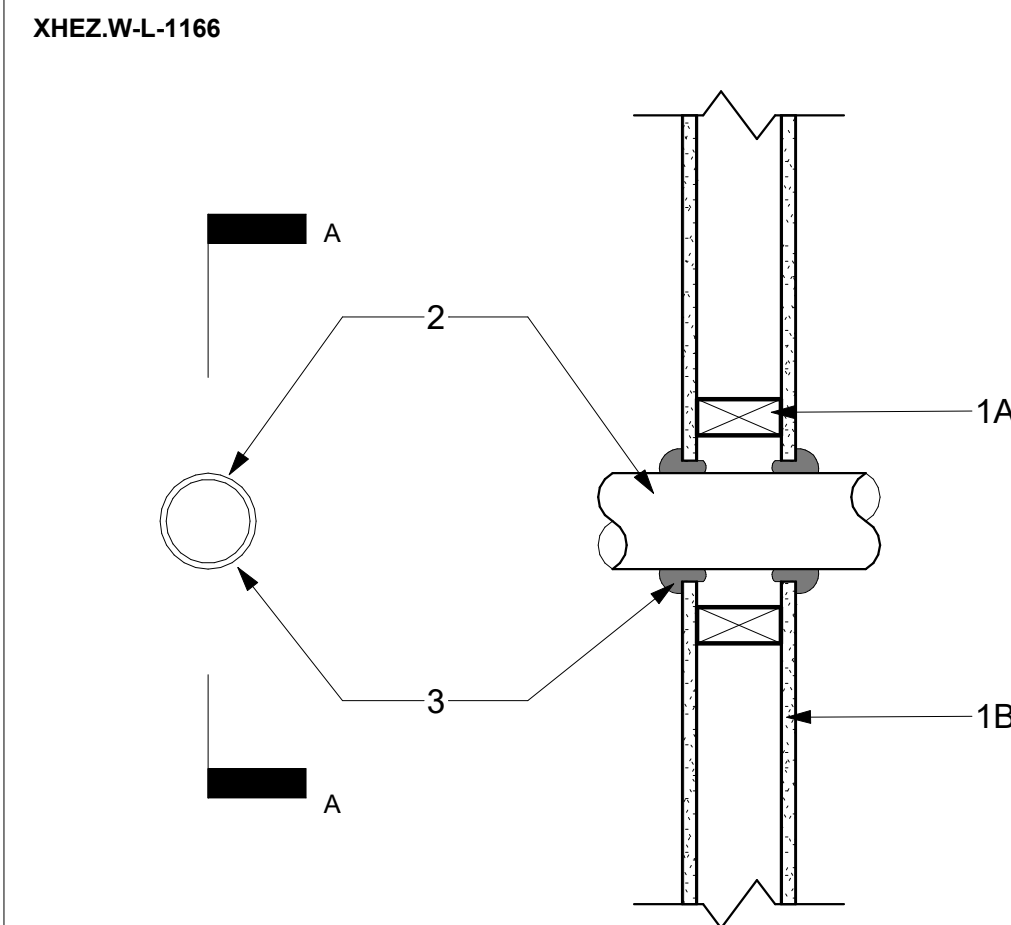
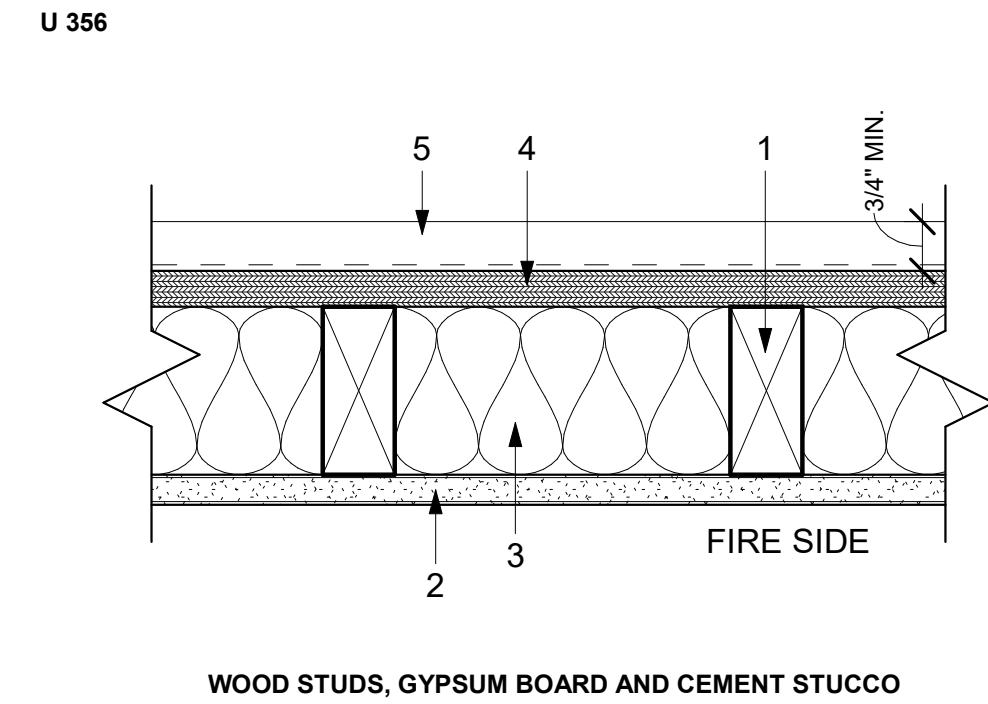
PUBLIC SET

DATE  
01/11/24

SHEET  
**A6-203**

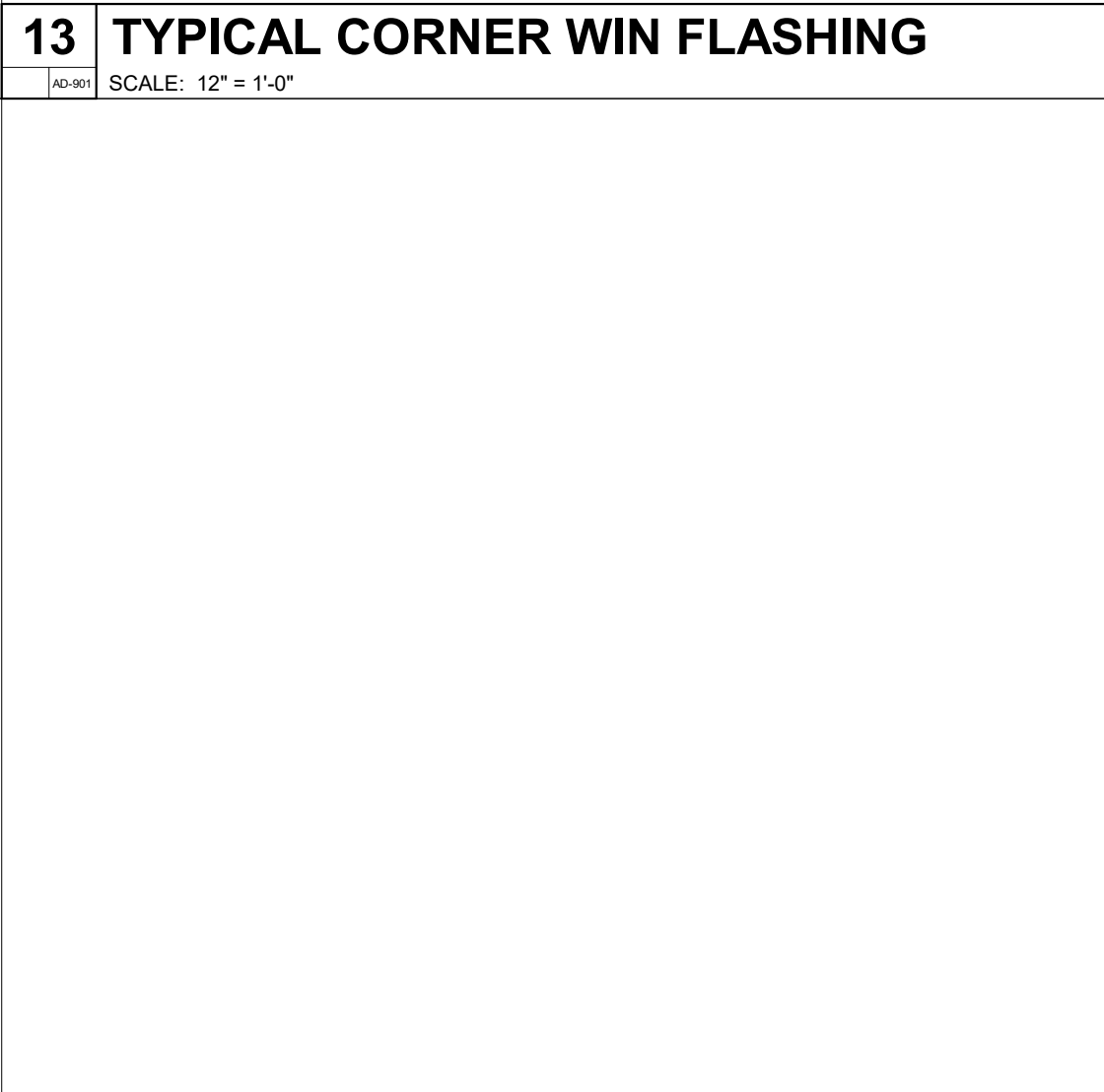
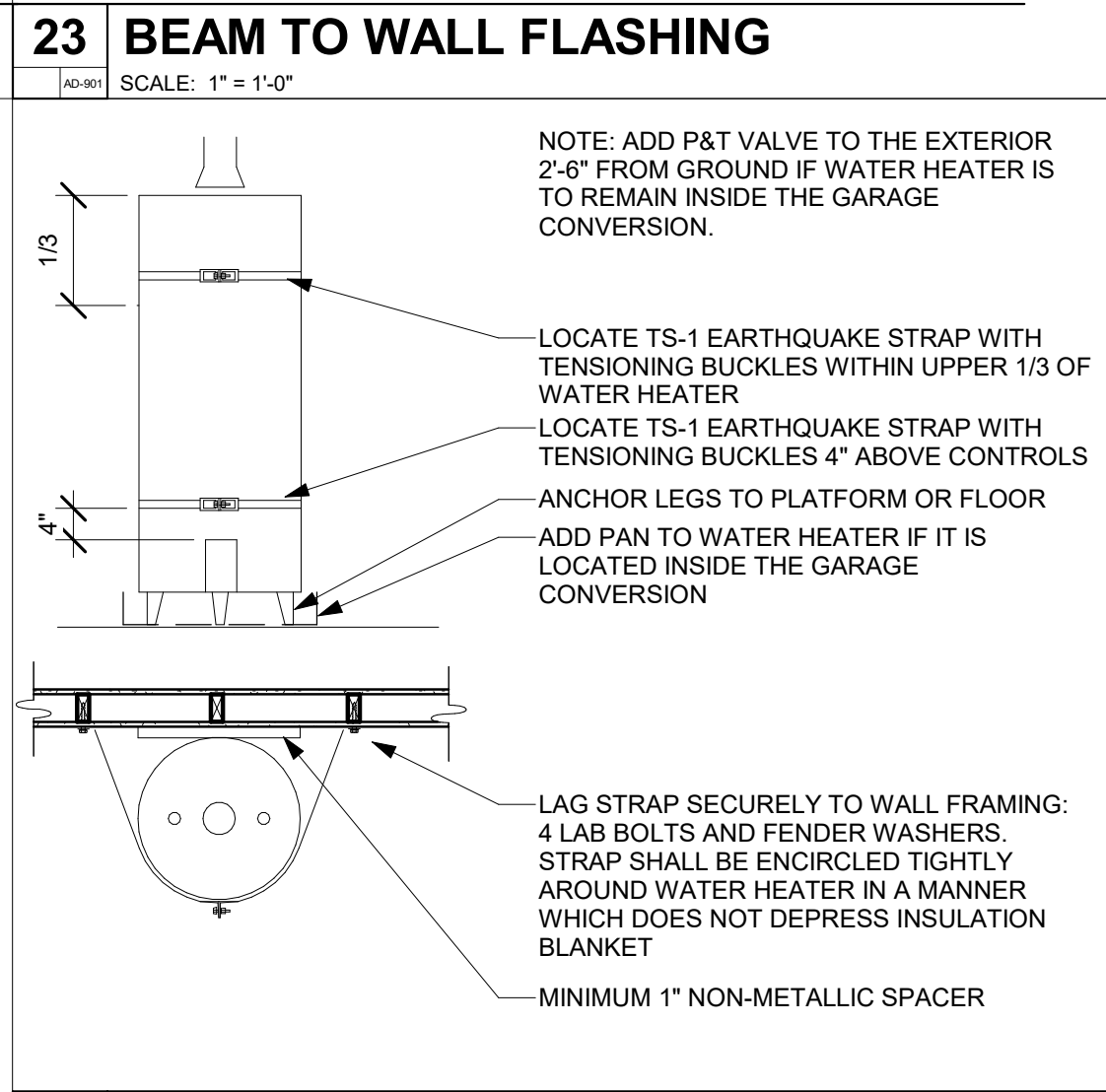
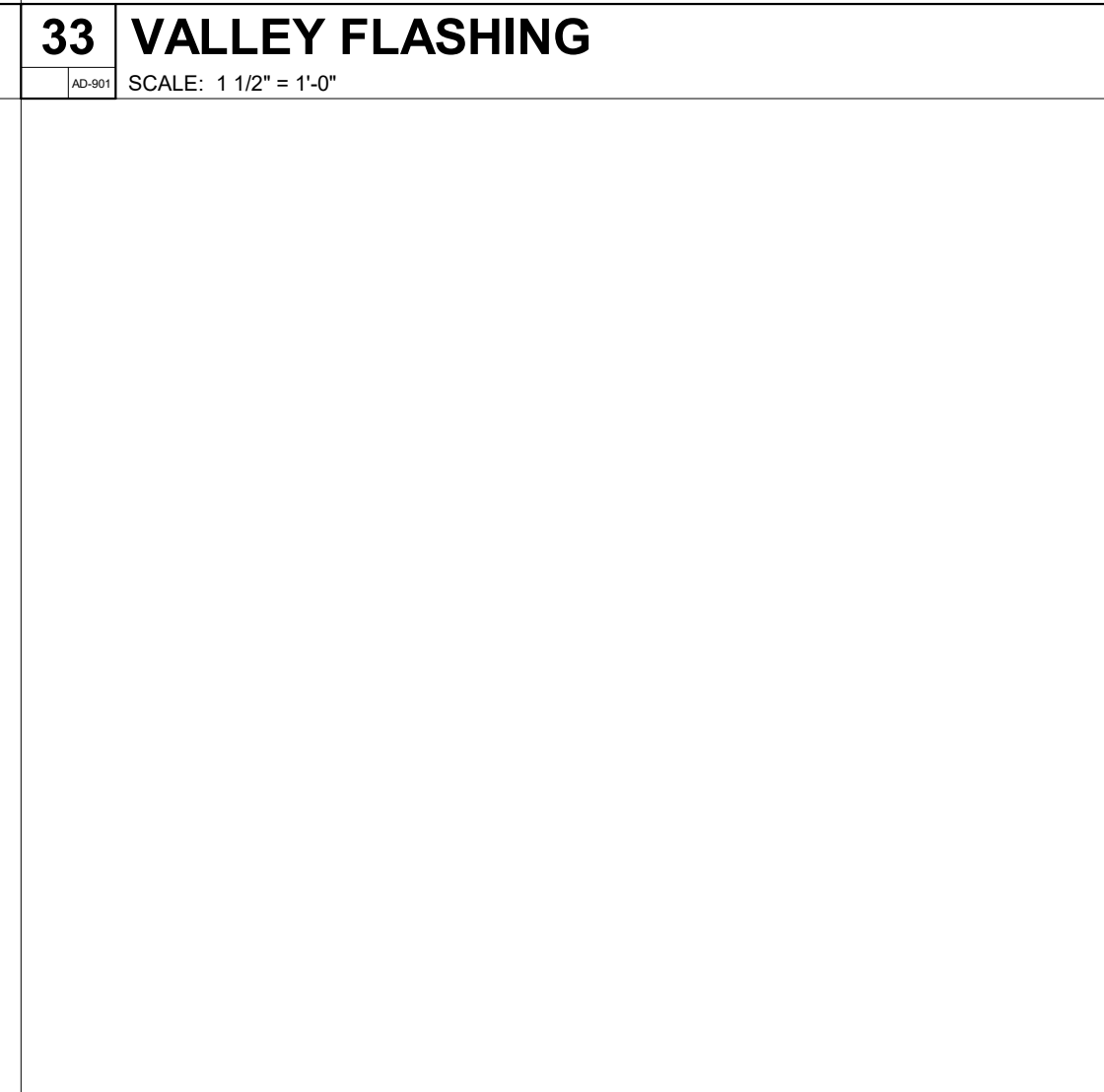
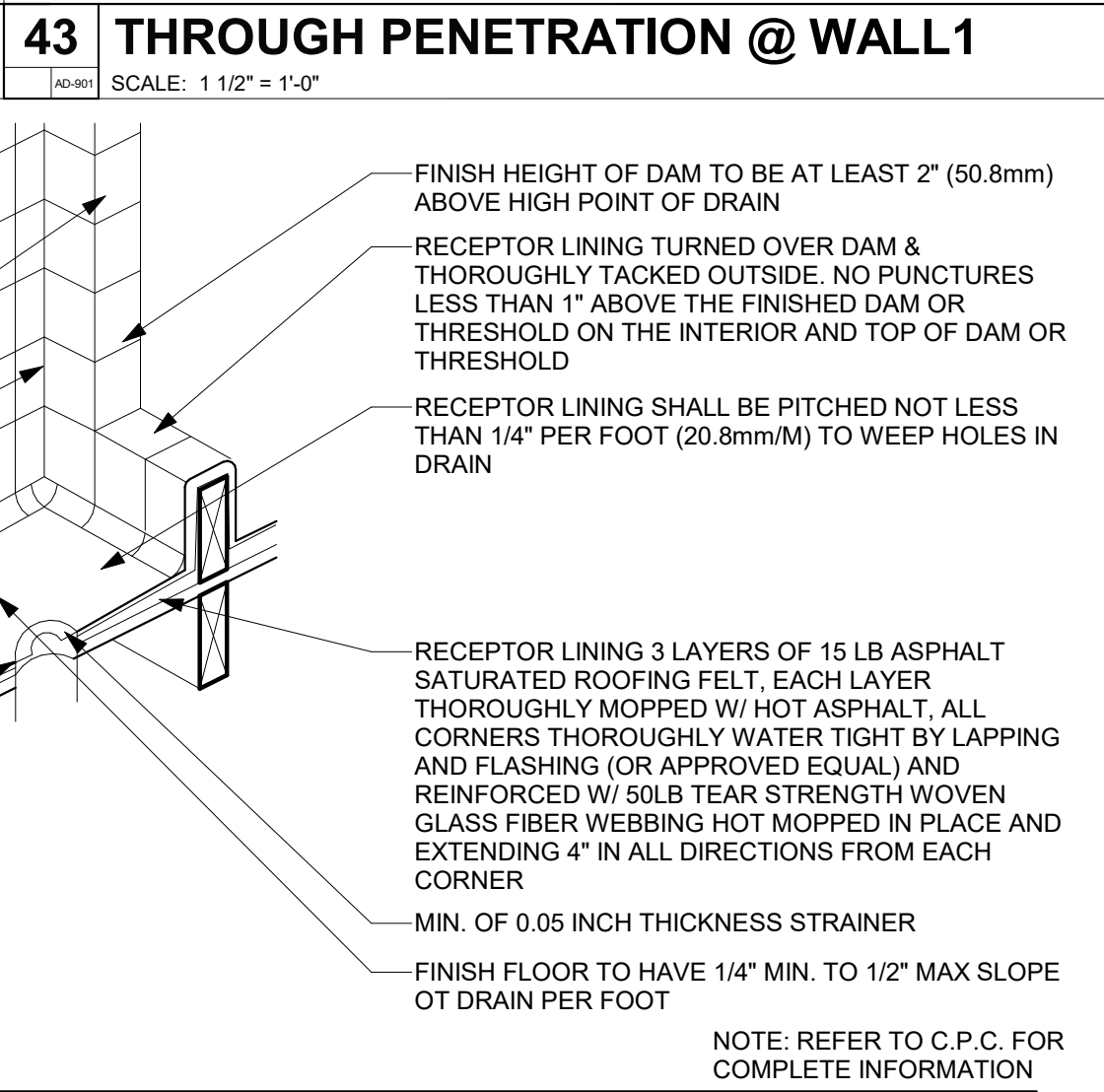
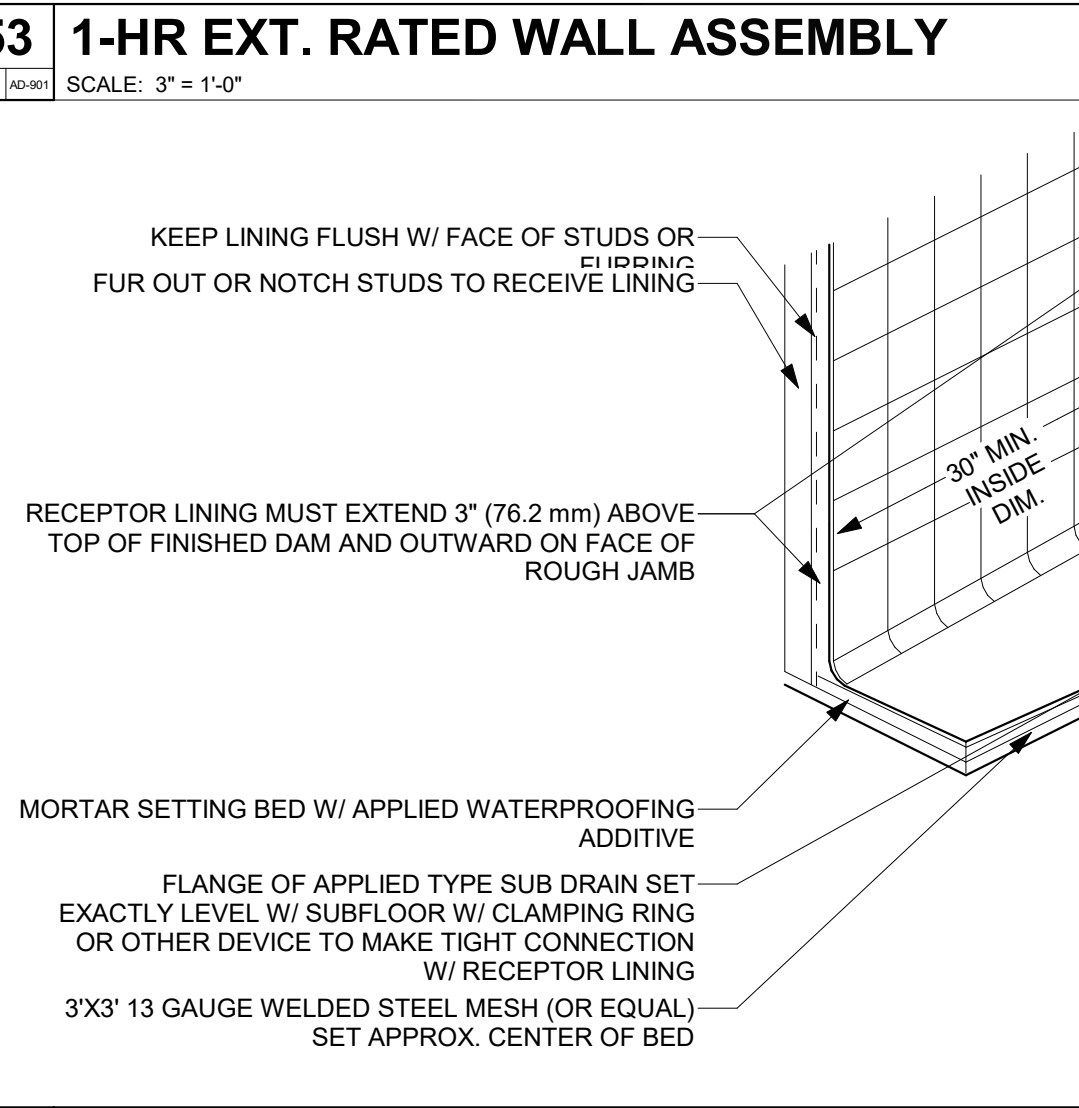
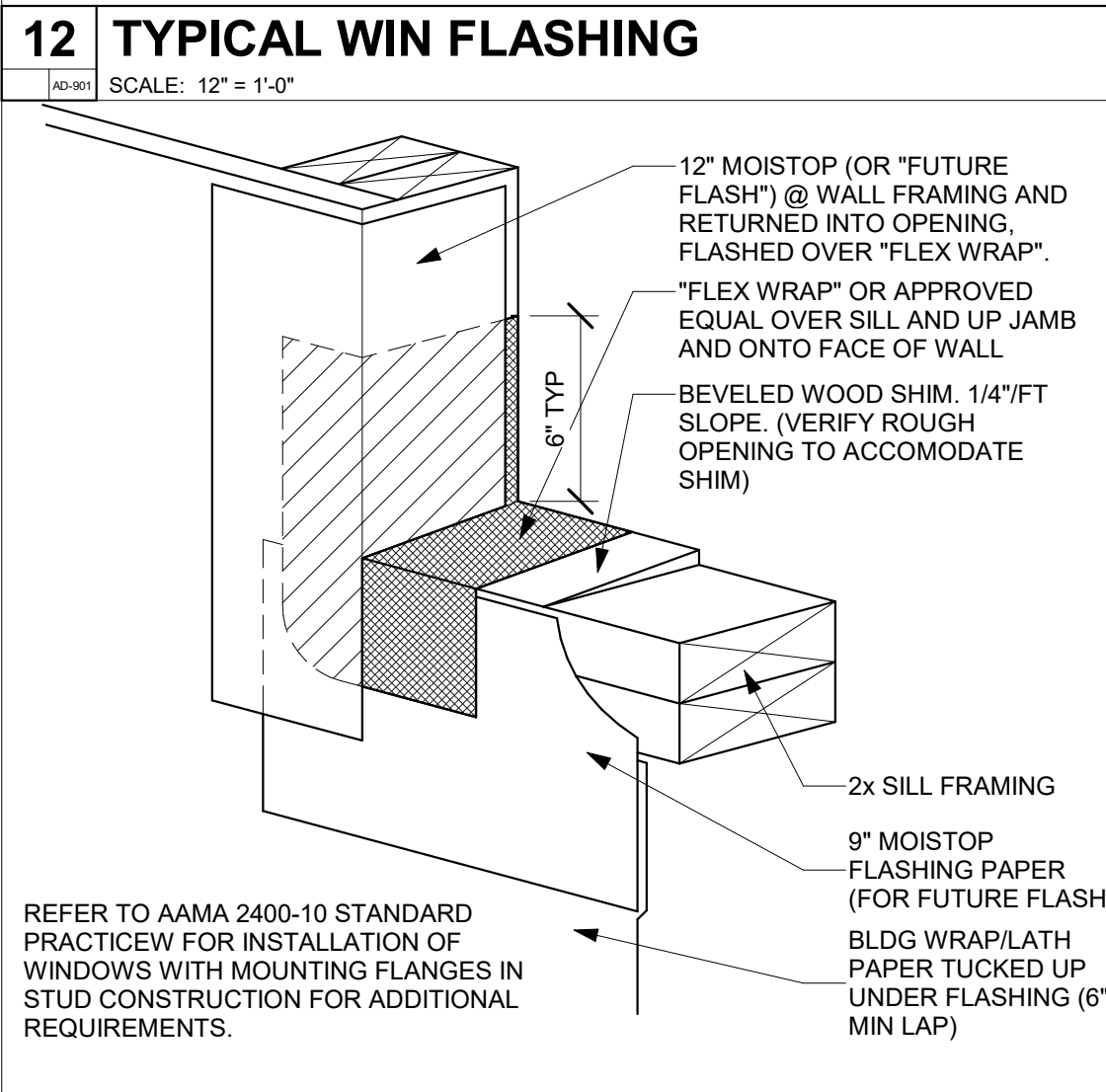
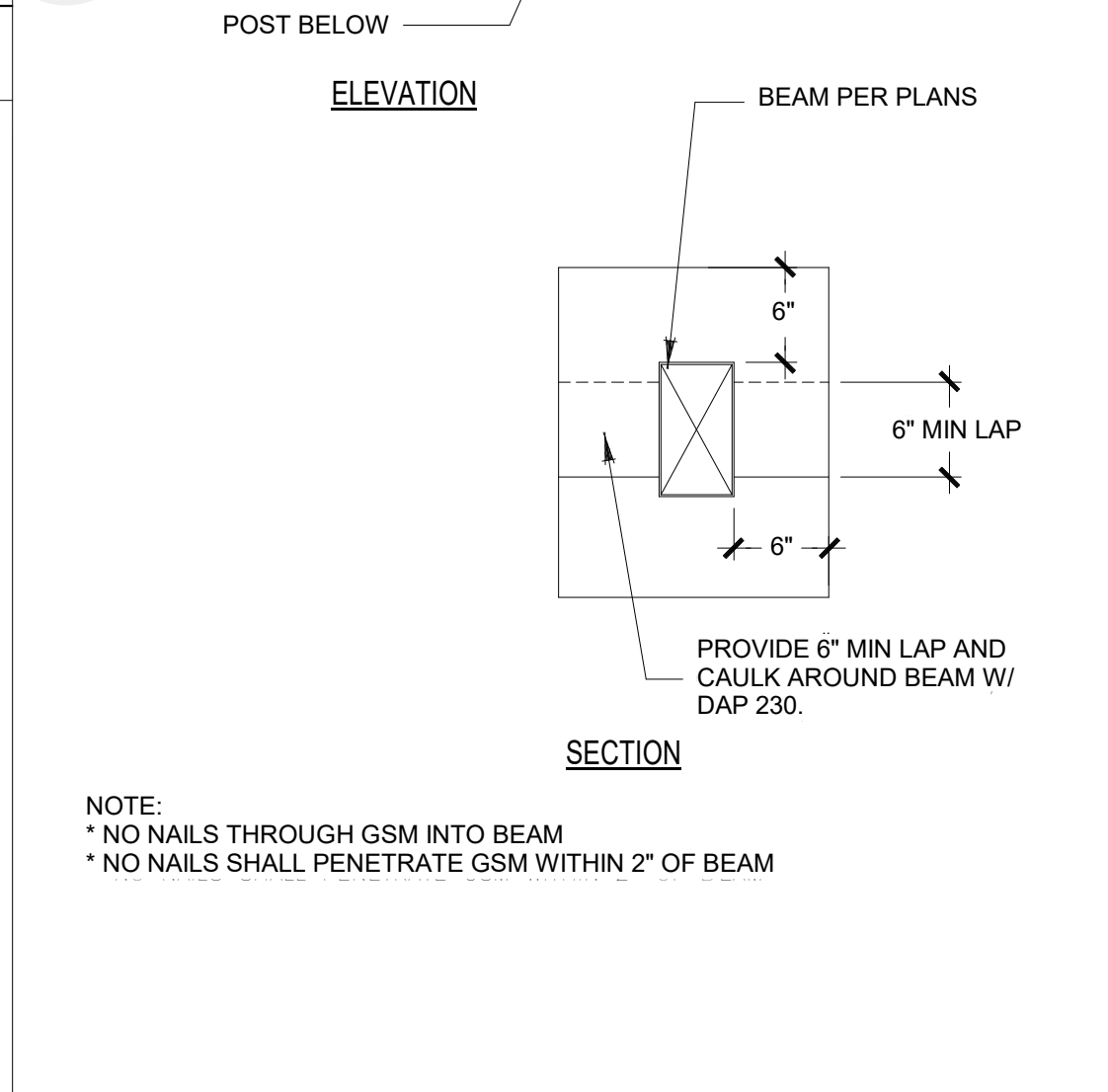
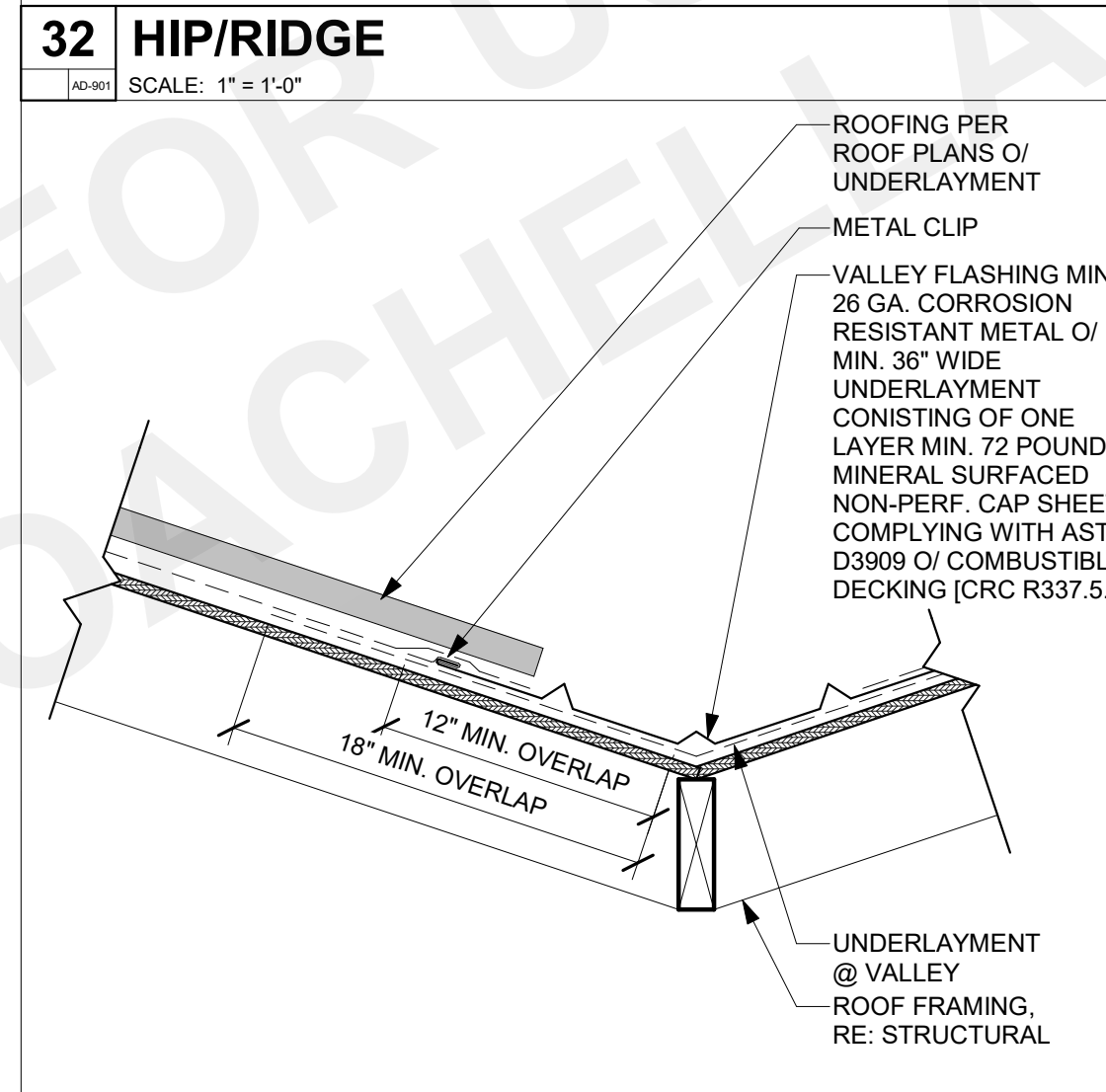
**PROTOTYPE ADU**  
**2 CAR GARAGE CONVERSION**  
 COACHELLA, CA  
**EXT. ELEVATIONS & SECTIONS -**  
**PLAN 6 - SPANISH**

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**UL DES U305**

NOTE:  
AT INTERIOR WALL USE:  
5/8" SHEETROCK FIRE CODE CORE PANELS.  
5/8" SHEETROCK ULTRAIGHT PANELS FIRE CODE X OR  
5/8" FIBEROCK PANELS -  
2 X 4 WOOD STUD 16" OR 24" O.C.



**PROTOTYPE ADU  
2 CAR GARAGE CONVERSION  
COACHELLA, CA**

**ARCHITECTURAL DETAILS -  
COMMON**

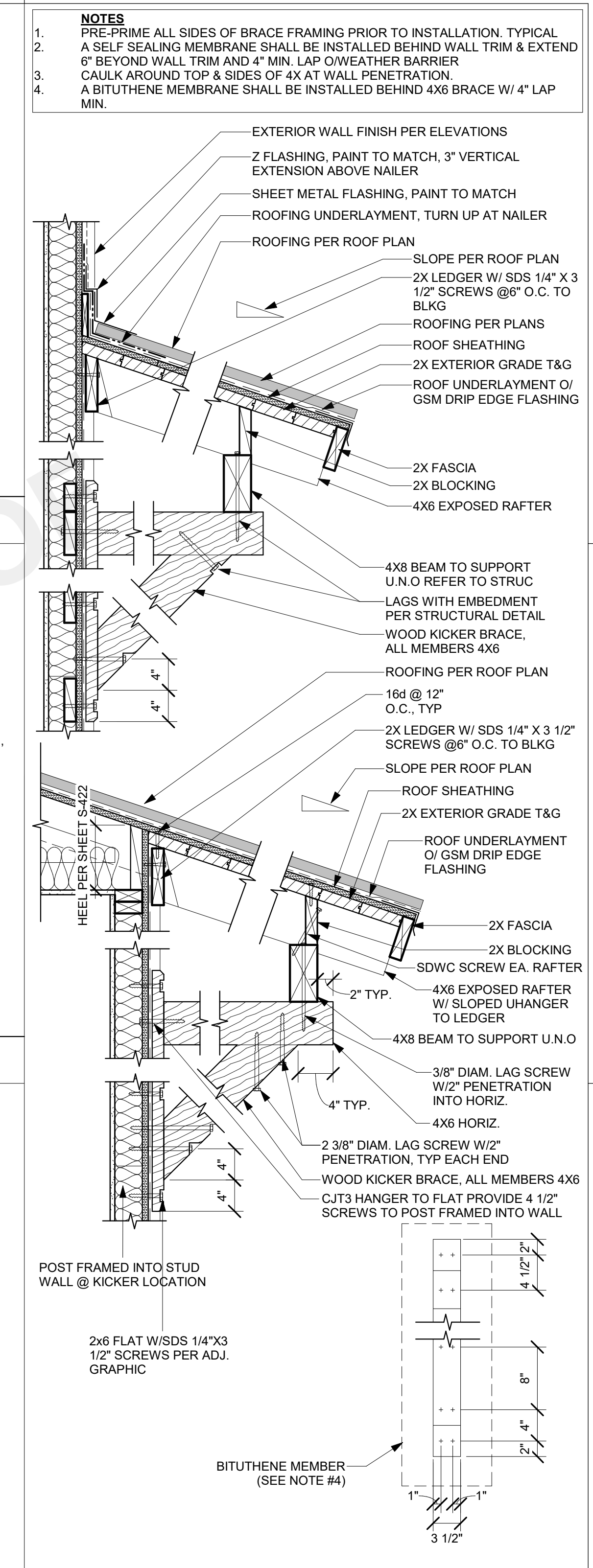
THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONSTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.

**PROTOTYPE ADU  
2 CAR GARAGE CONVERSION**  
COACHELLA, CA  
ARCHITECTURAL DETAILS -  
COMMON

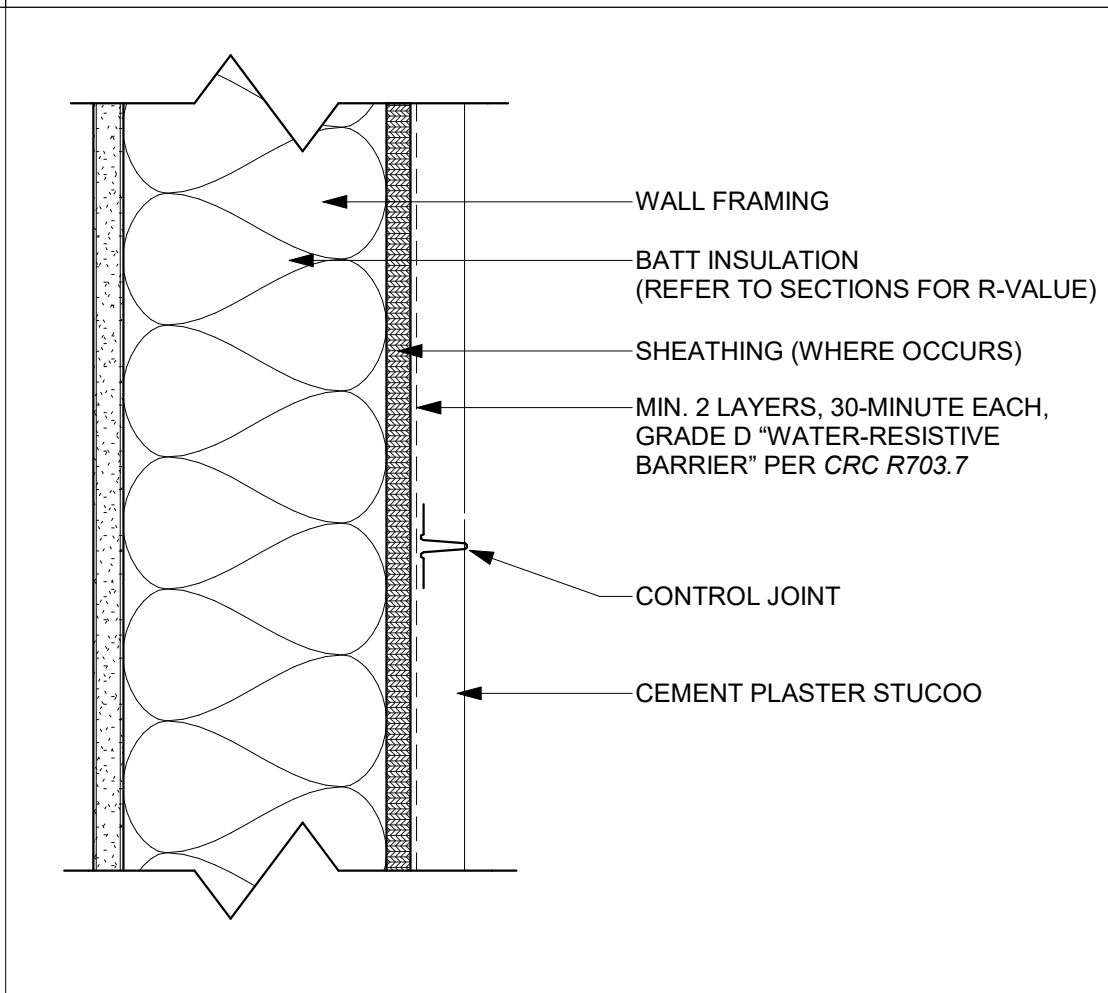
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01/11/24  
SHEET

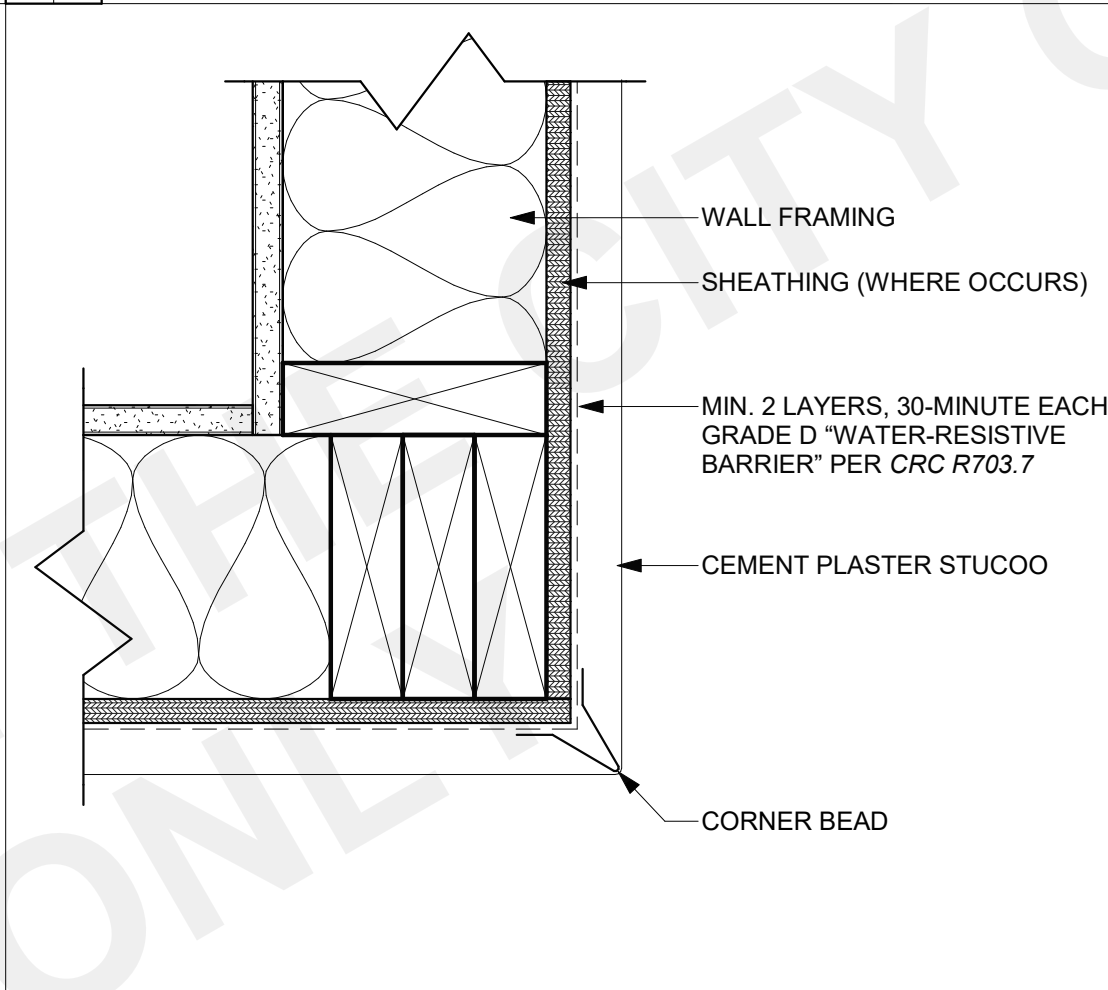
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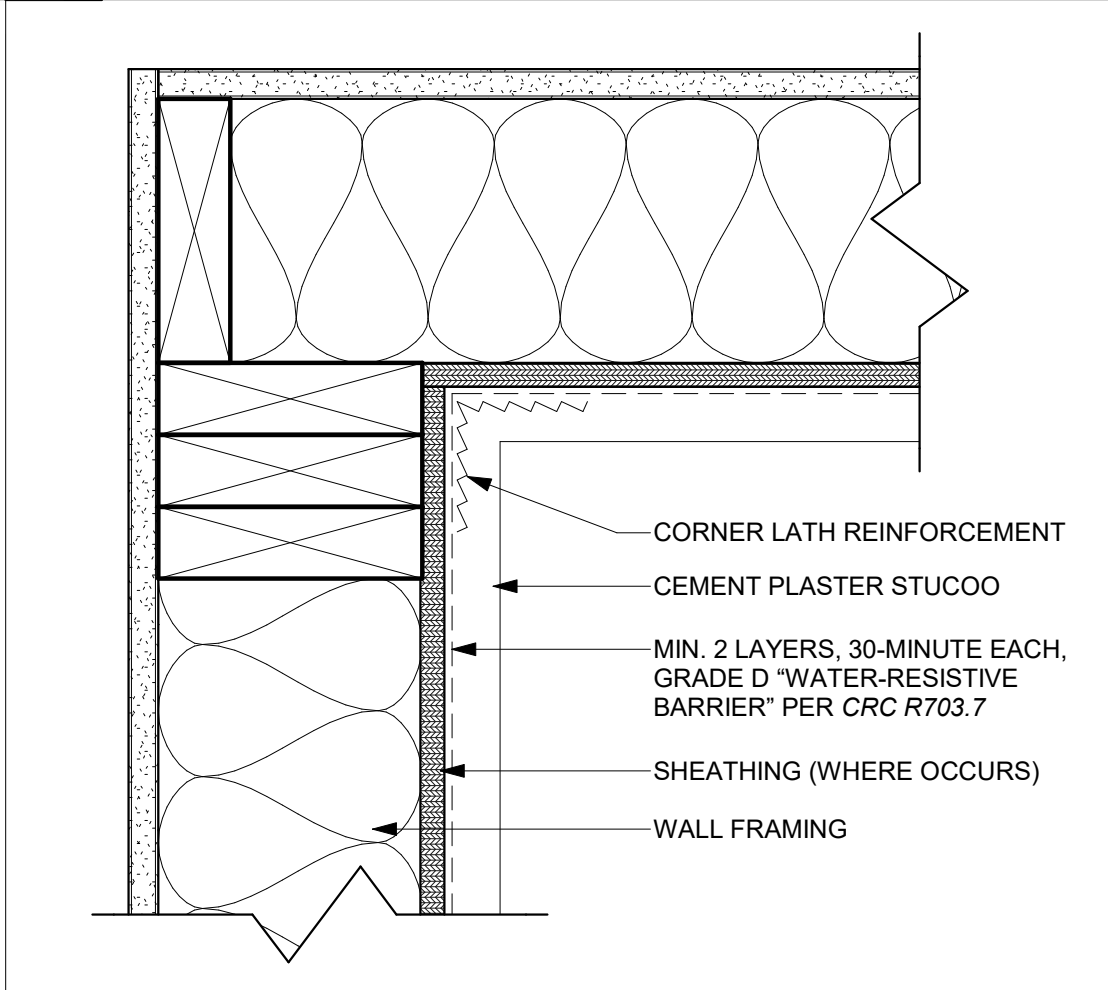
**13 SHED ROOF WITH KICKER**  
SCALE: 1" = 1'-0"



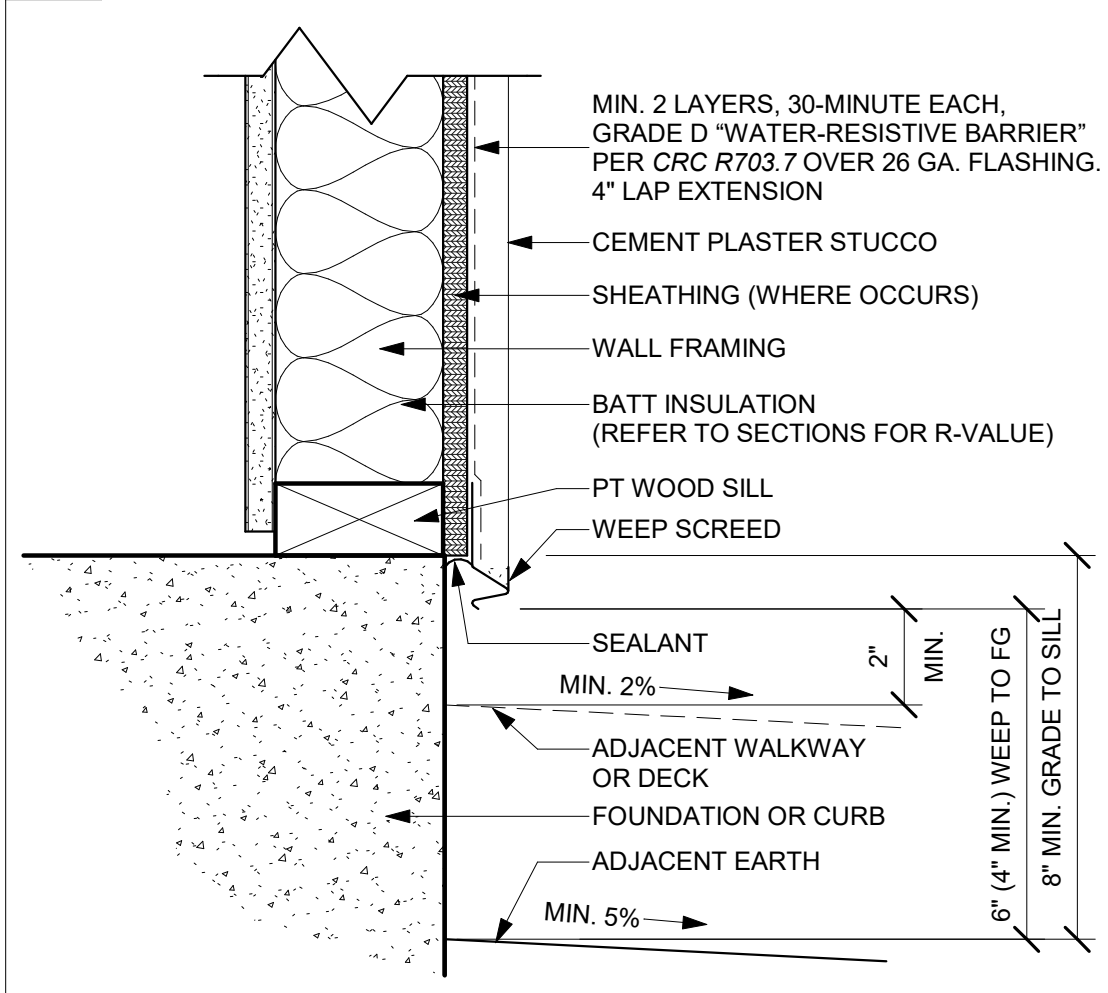
**21 PLASTER - CONTROL JOINT**  
SCALE: 3" = 1'-0"



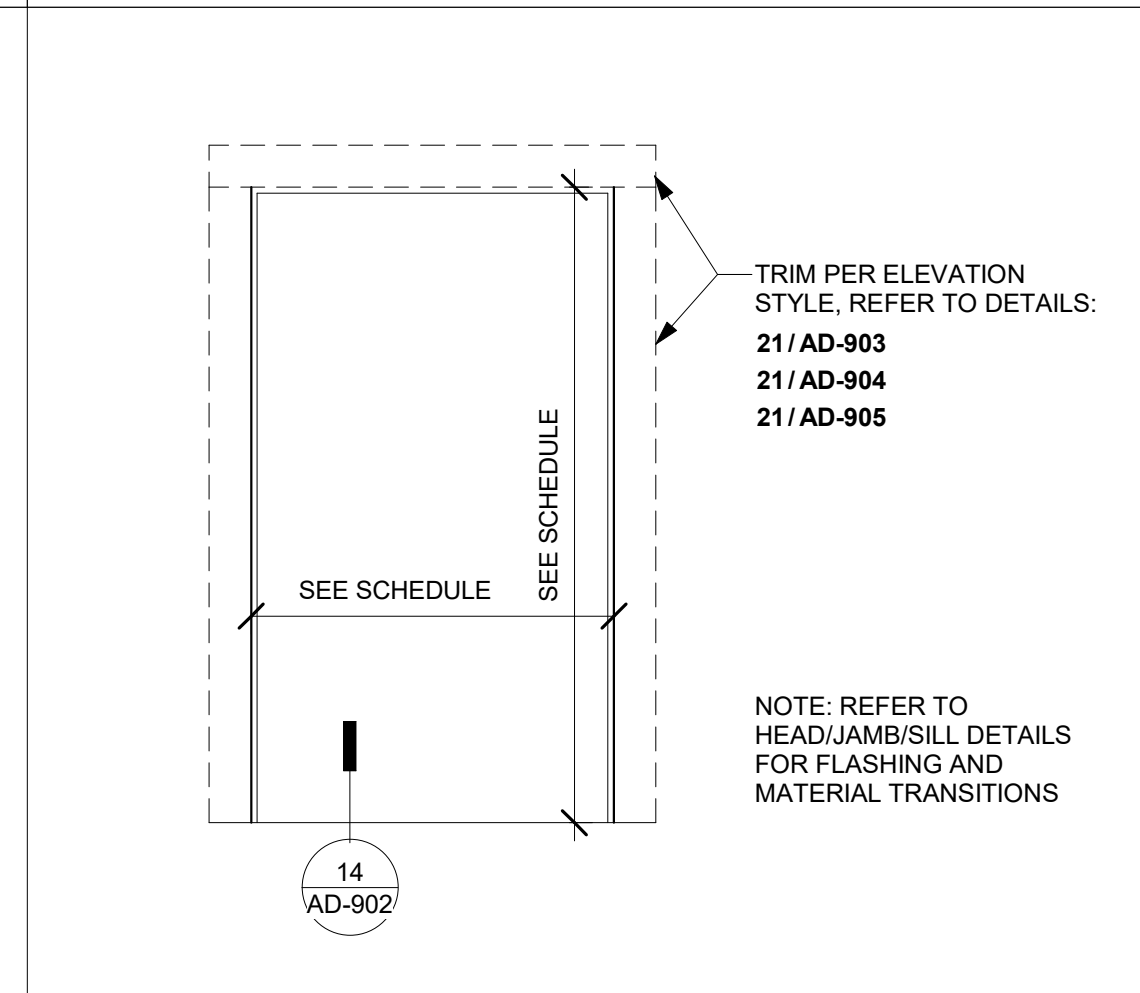
**22 PLASTER - OUTSIDE CORNER**  
SCALE: 3" = 1'-0"



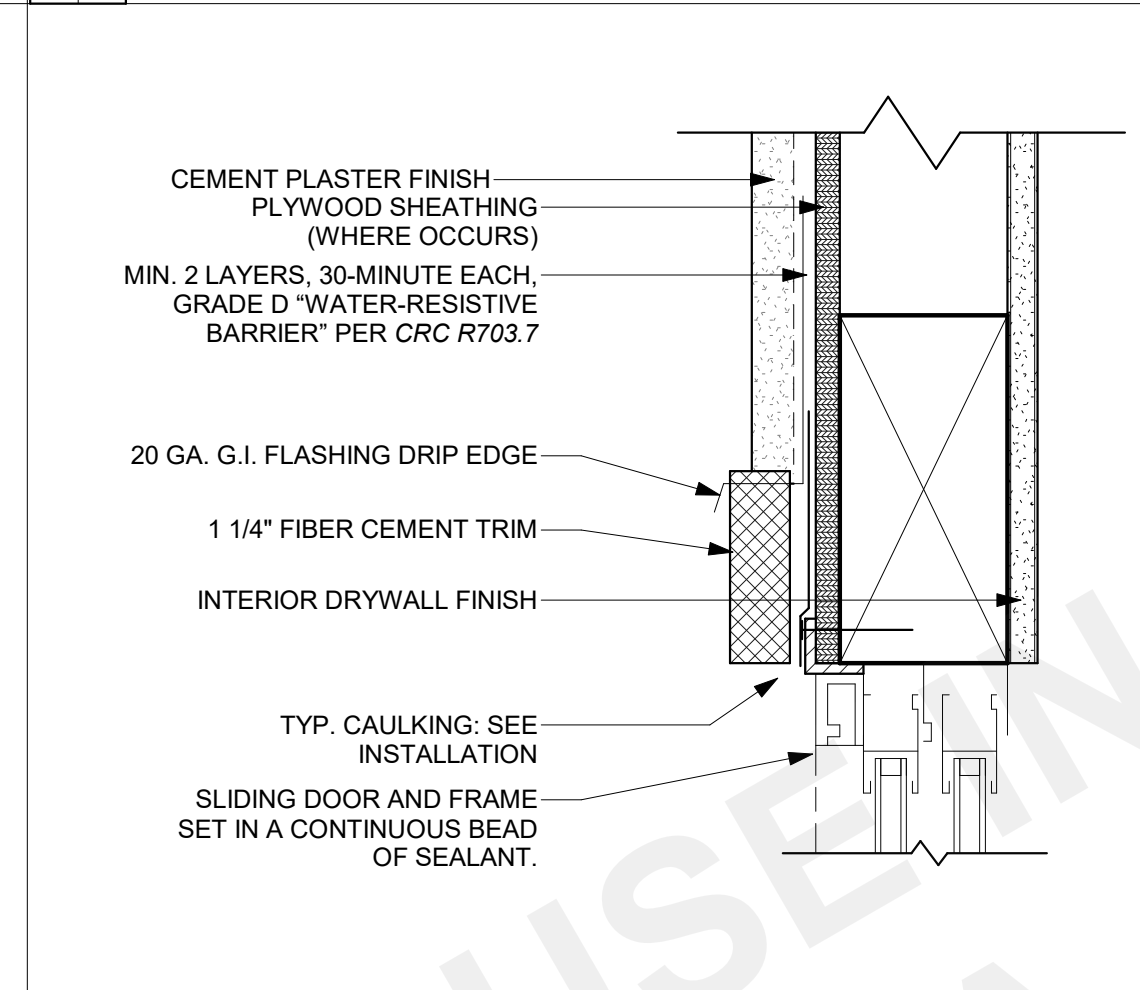
**23 PLASTER - INSIDE CORNER**  
SCALE: 3" = 1'-0"



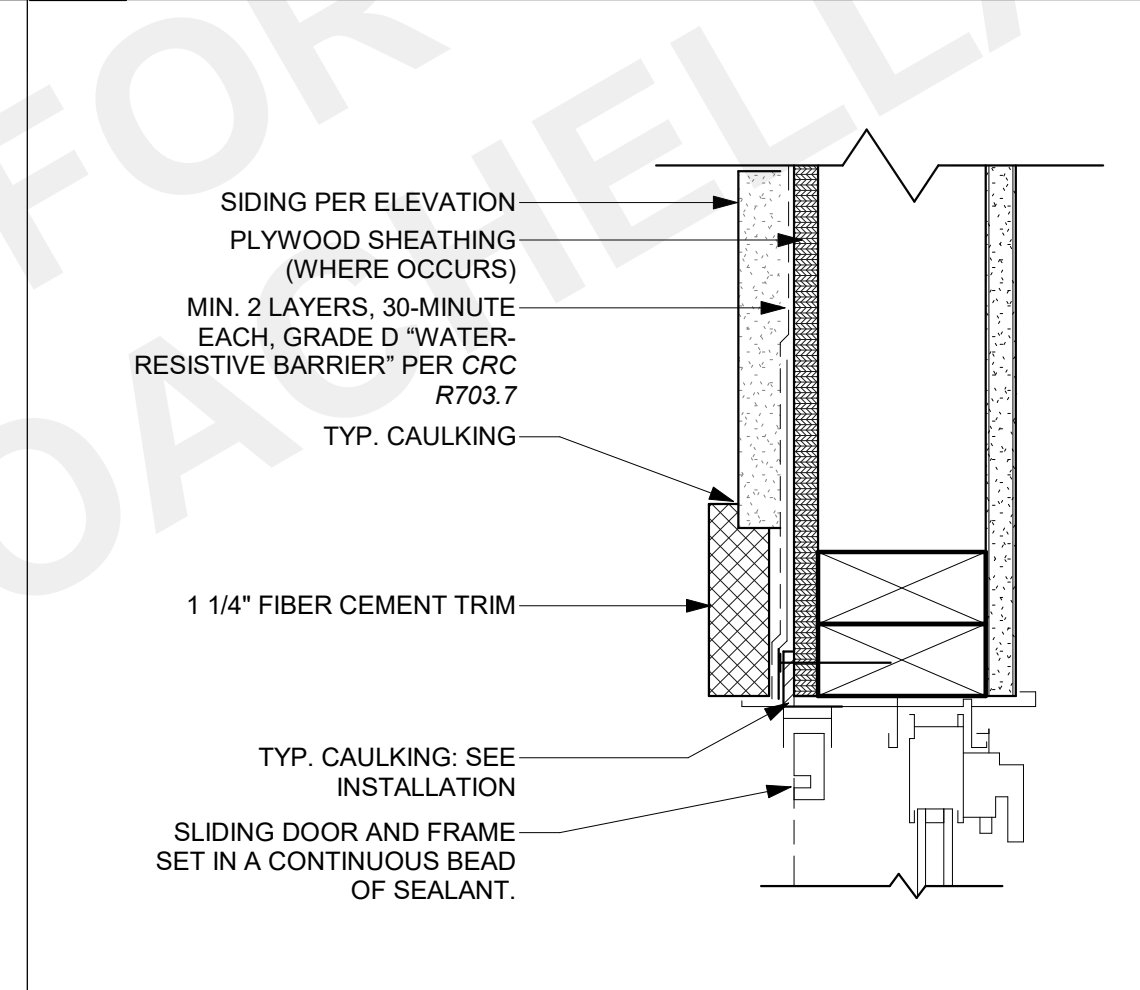
**24 PLASTER - FOUNDATION**  
SCALE: 3" = 1'-0"



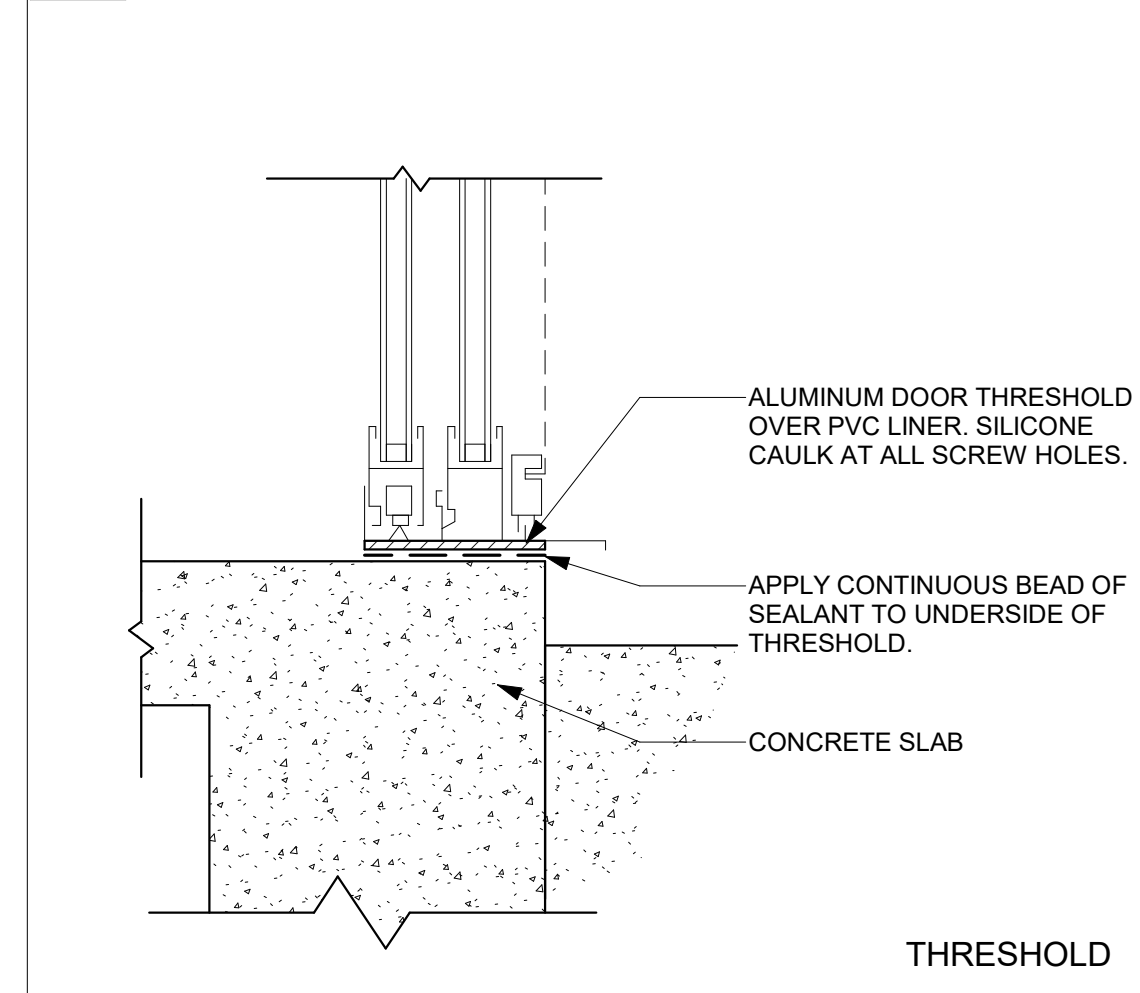
**31 DOOR TRIM - SLIDING GLASS**  
SCALE: 3/4" = 1'-0"



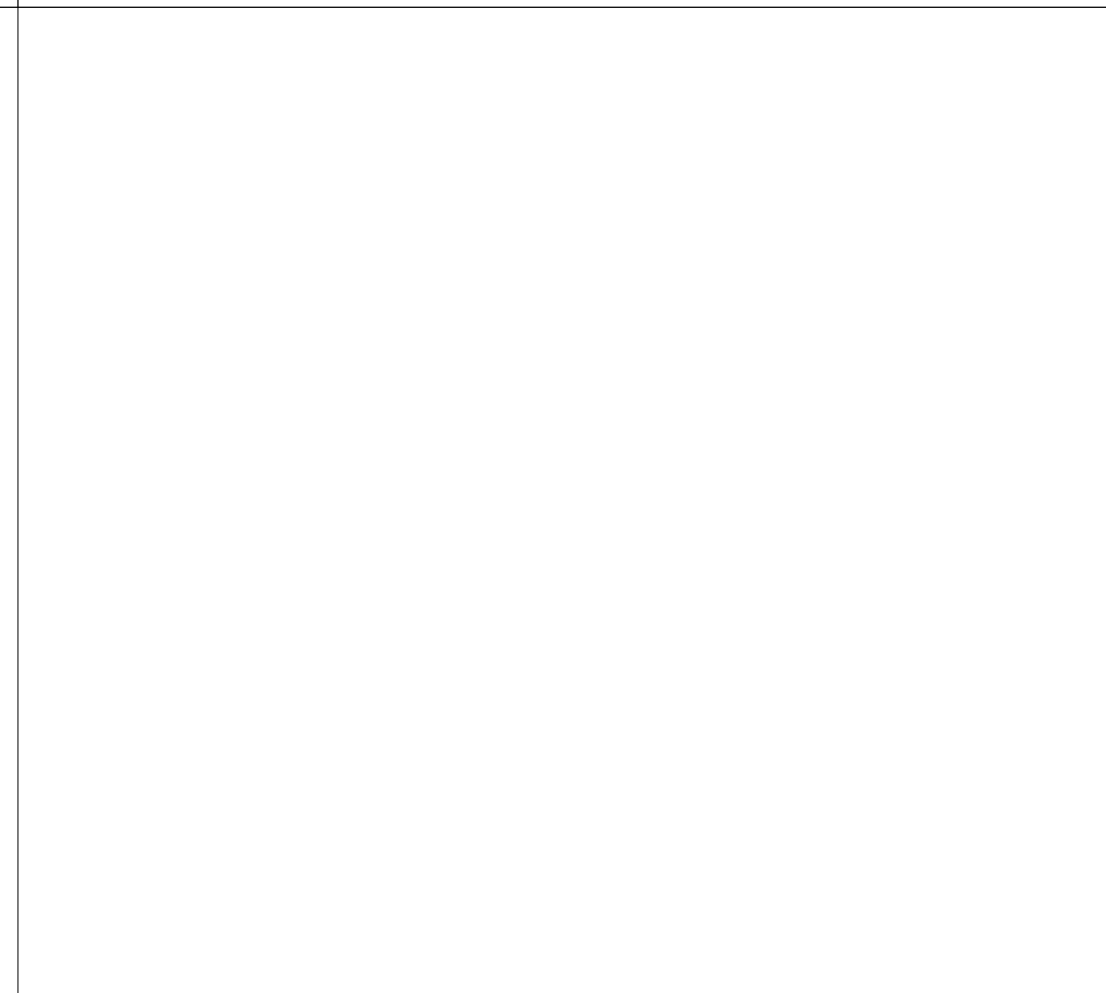
**32 TYP. HEAD SLIDING GLASS DOOR**  
SCALE: 3" = 1'-0"



**33 TYP. JAMB AT SLIDING GLASS DOOR**  
SCALE: 3" = 1'-0"



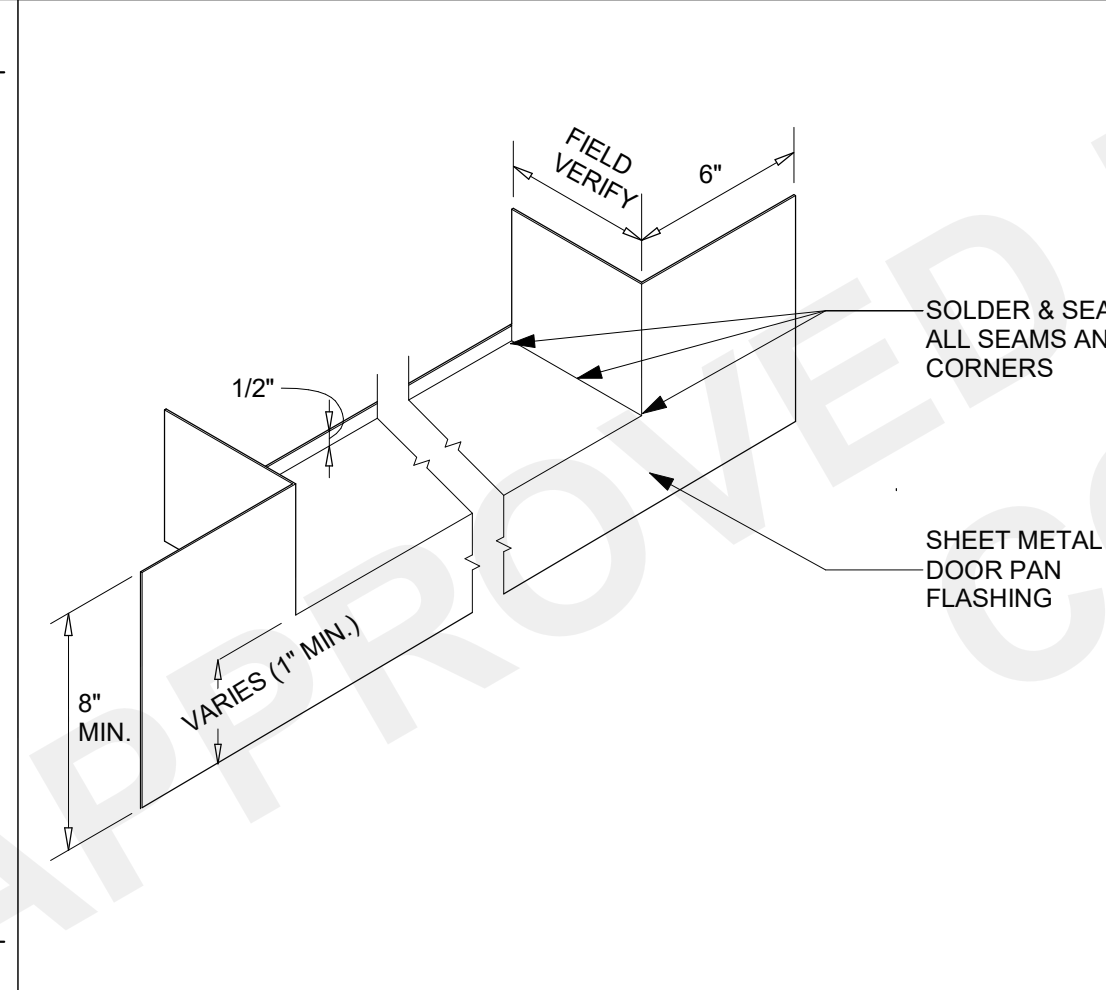
**34 DOOR-SLIDING GLASS - THRESHOLD**  
SCALE: 3" = 1'-0"



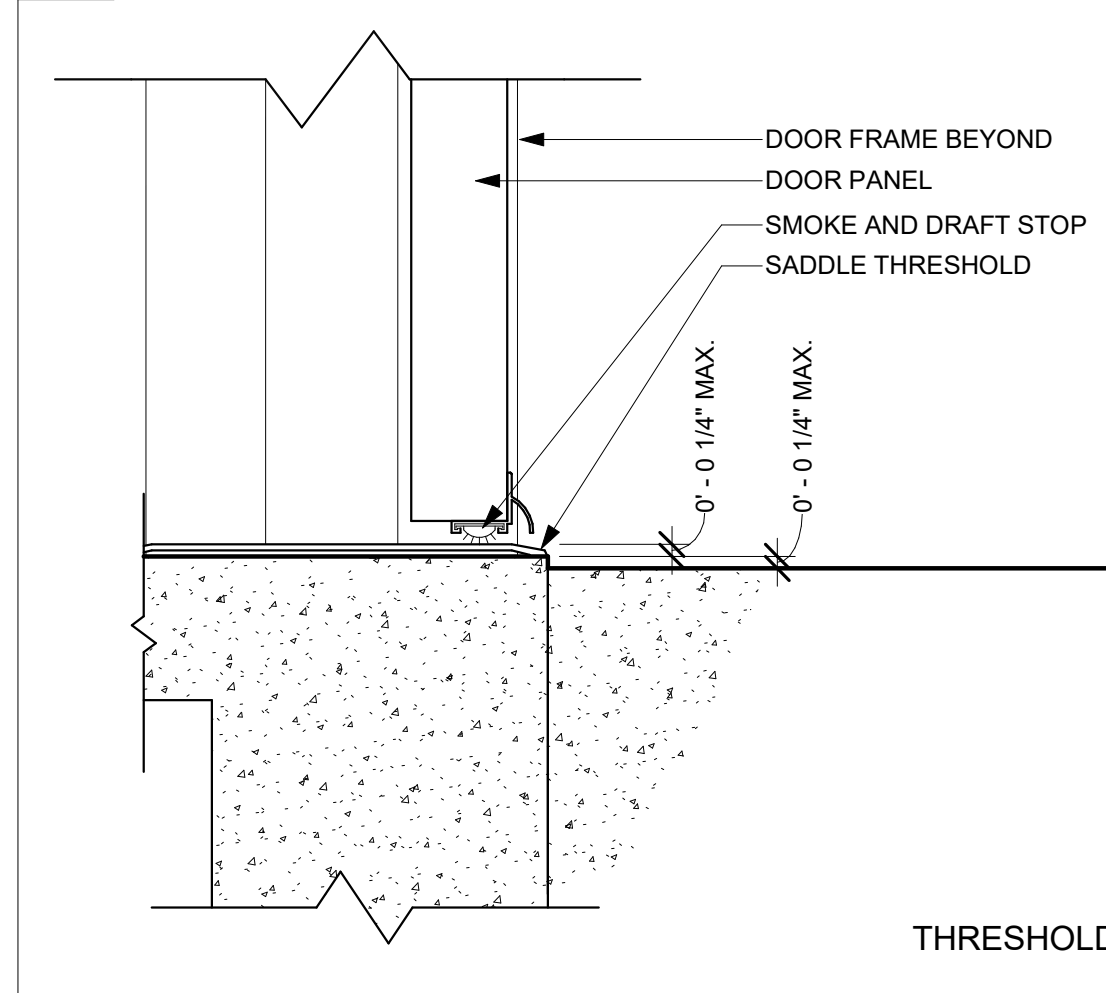
**51 TYP. GUTTER TO EXT. DOWNSPOUT**  
SCALE: 1/2" = 1'-0"



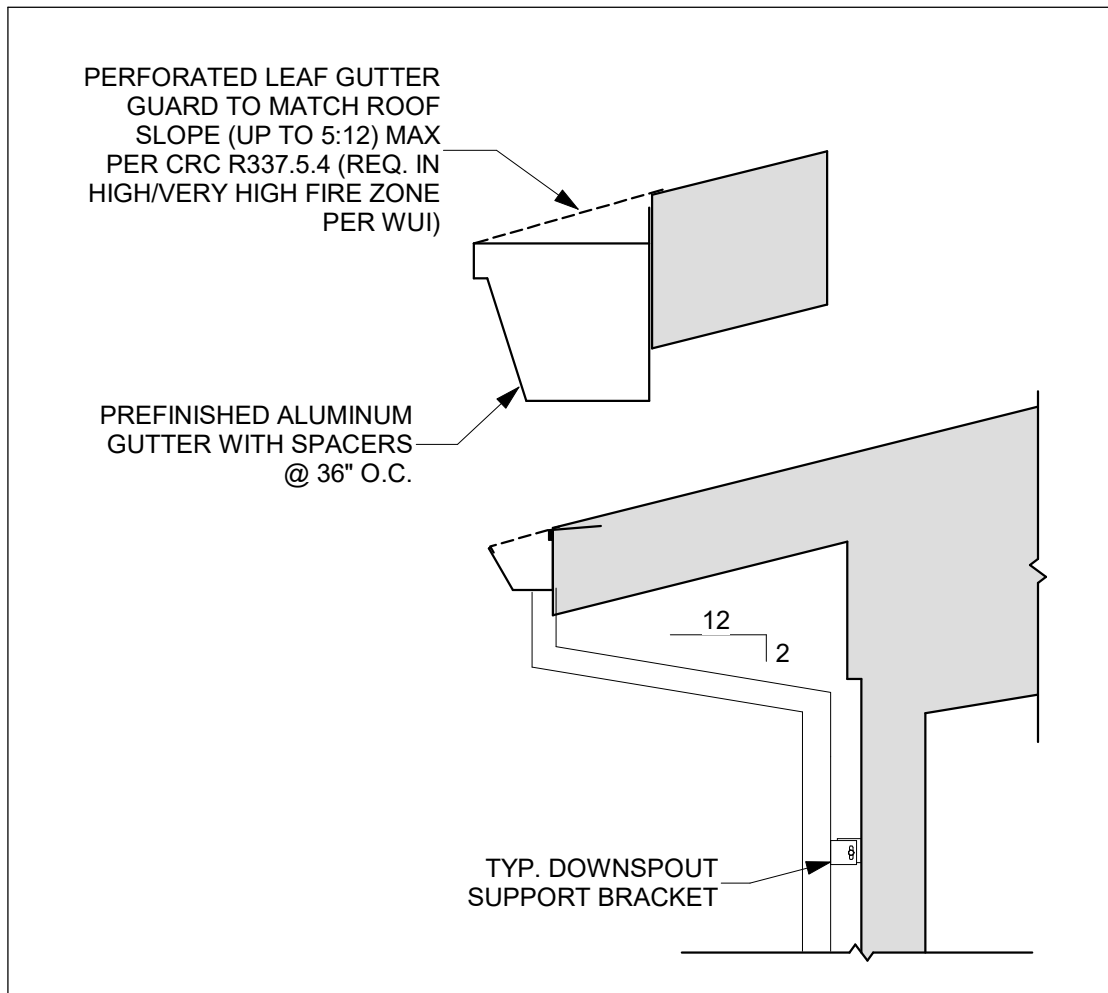
**52 DOWNSPOUT ATTACHMENT**  
SCALE: 1 1/2" = 1'-0"



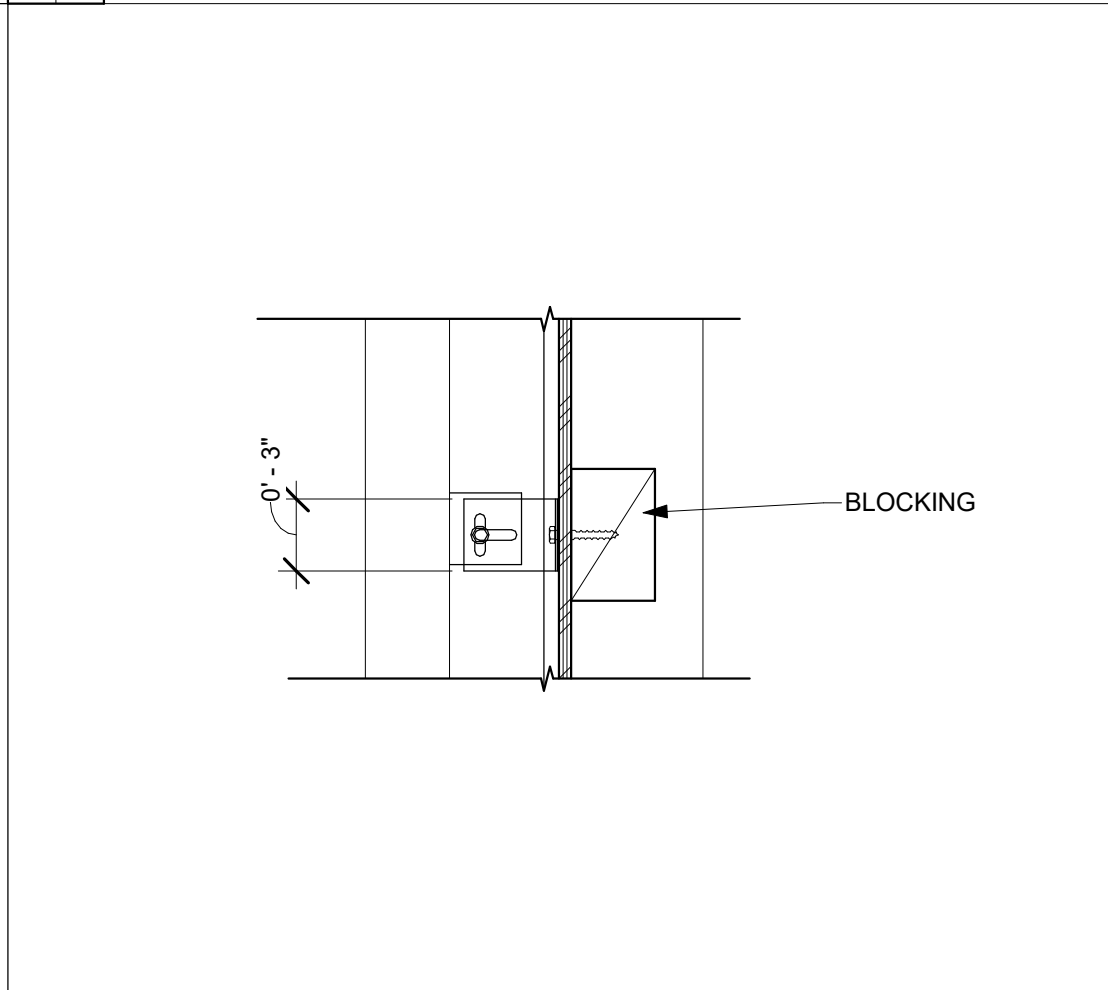
**43 DOOR SILL PAN FLASHING**  
SCALE: 1 1/2" = 1'-0"



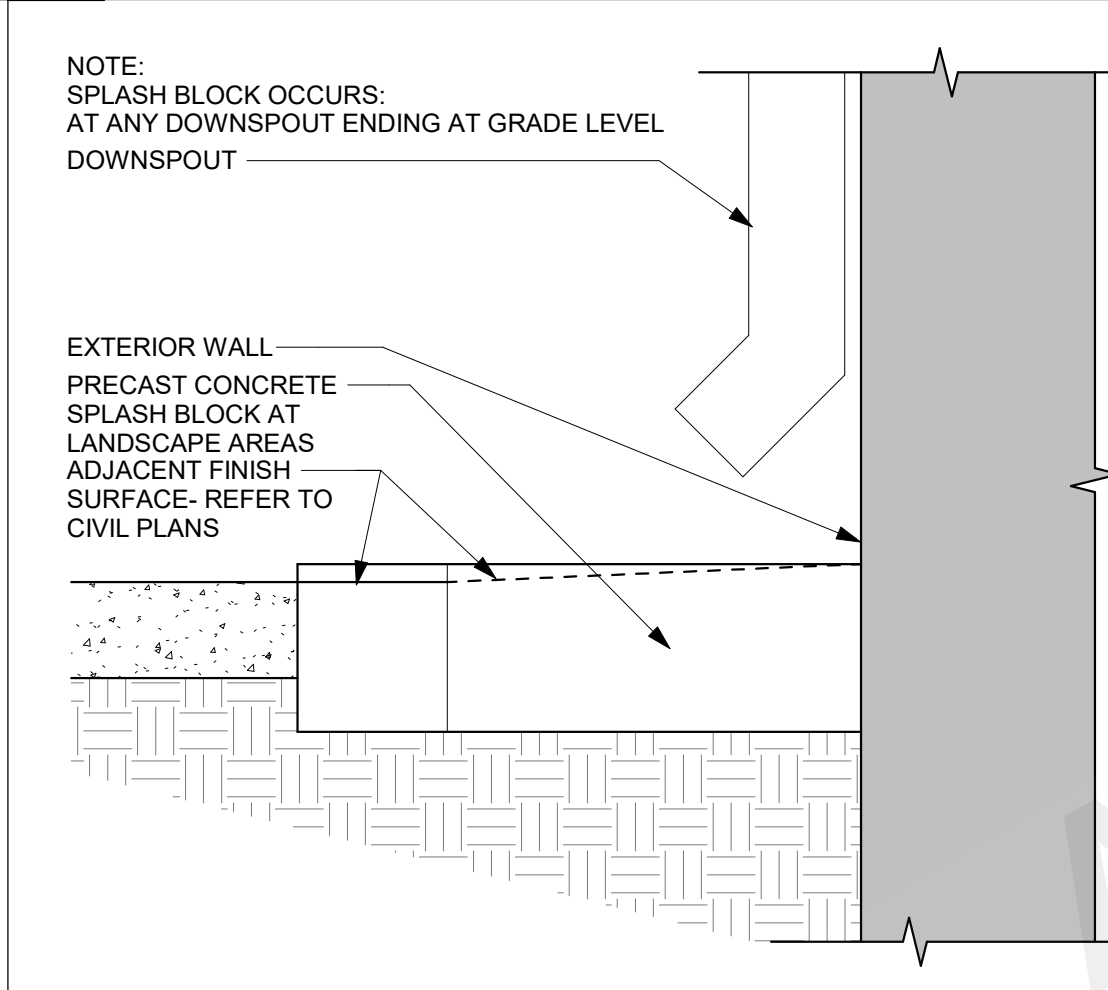
**44 EXT. VINYL DOOR THRESHOLD**  
SCALE: 3" = 1'-0"



**51 TYP. GUTTER TO EXT. DOWNSPOUT**  
SCALE: 1/2" = 1'-0"



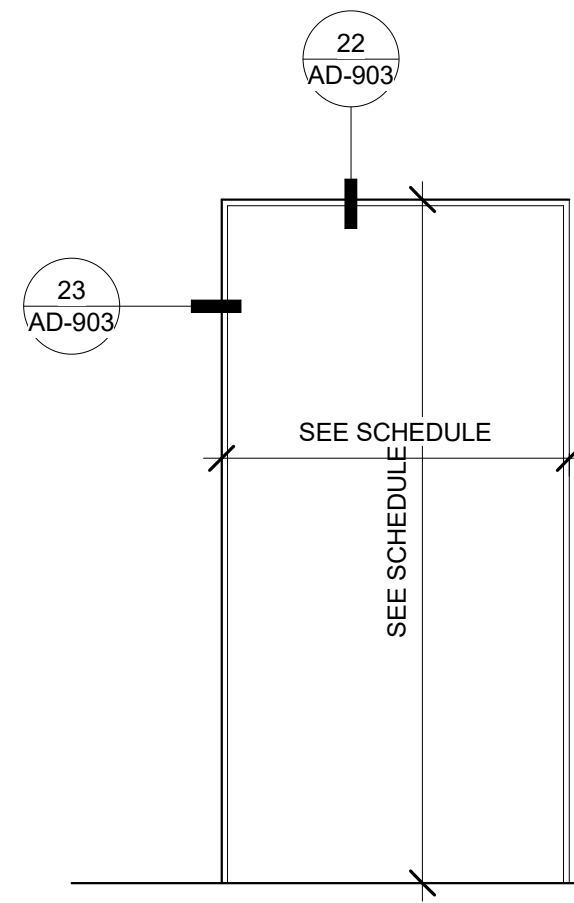
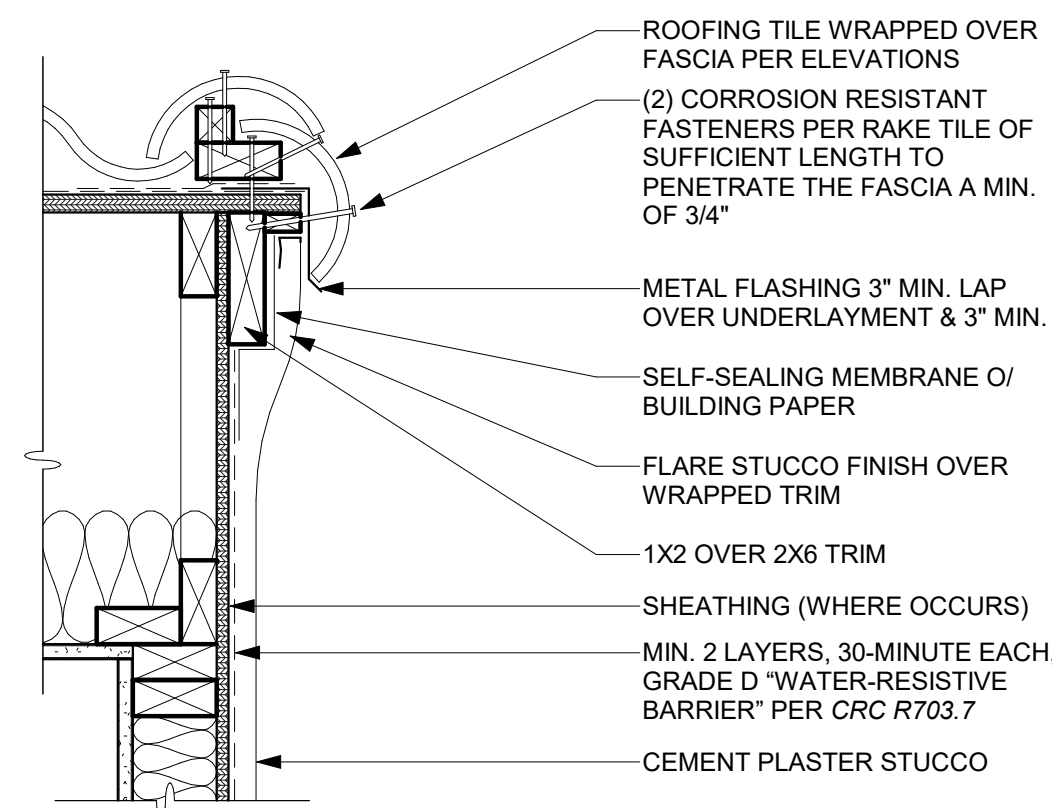
**52 DOWNSPOUT ATTACHMENT**  
SCALE: 1 1/2" = 1'-0"



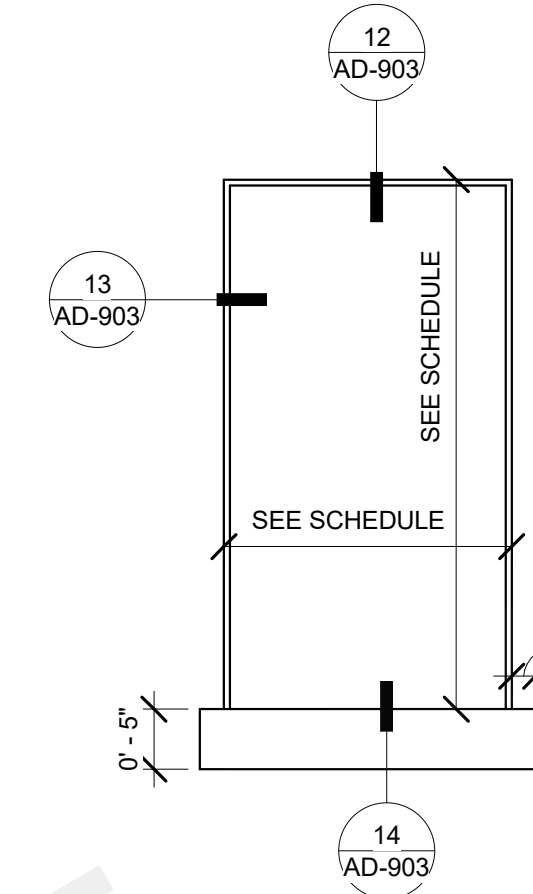
**53 DOWNSPOUT TO SPLASH BLOCK**  
SCALE: 1 1/2" = 1'-0"



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NOTE: REFER TO HEAD/JAMB/SILL DETAILS FOR FLASHING AND MATERIAL TRANSITIONS



NOTE: REFER TO HEAD/JAMB/SILL DETAILS FOR FLASHING AND MATERIAL TRANSITIONS

**31 RAKE @ PLASTER - MISSION**

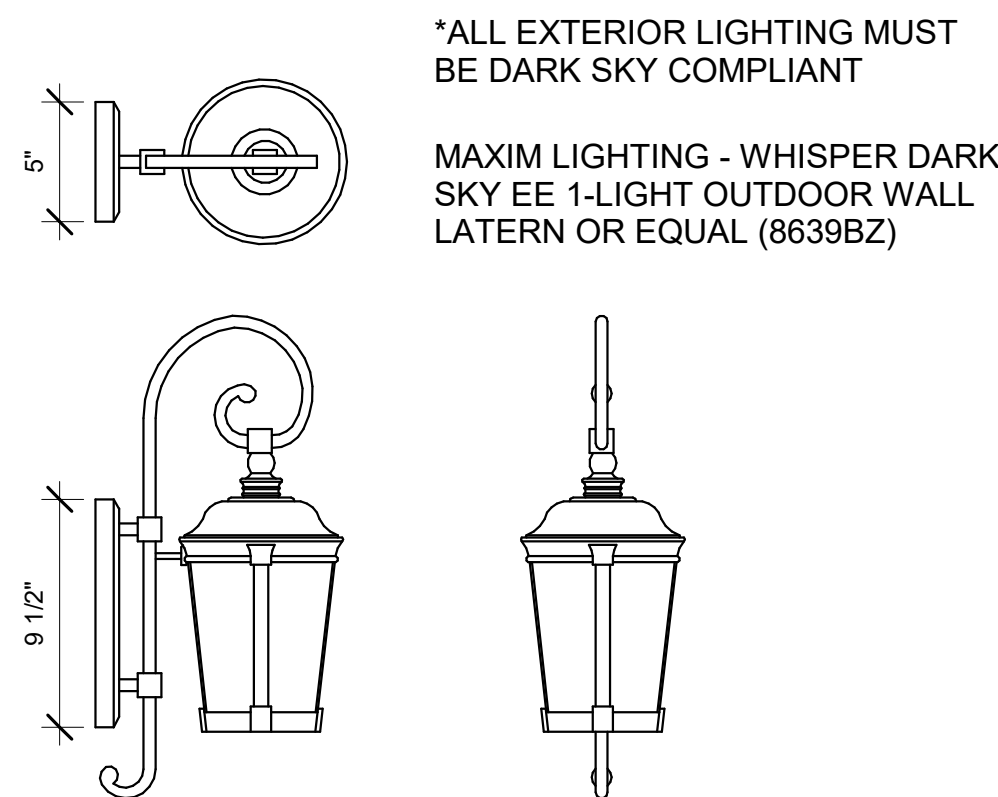
SCALE: 1 1/2" = 1'-0"

**21 DOOR TRIM - MISSION REVIVAL**

SCALE: 3/4" = 1'-0"

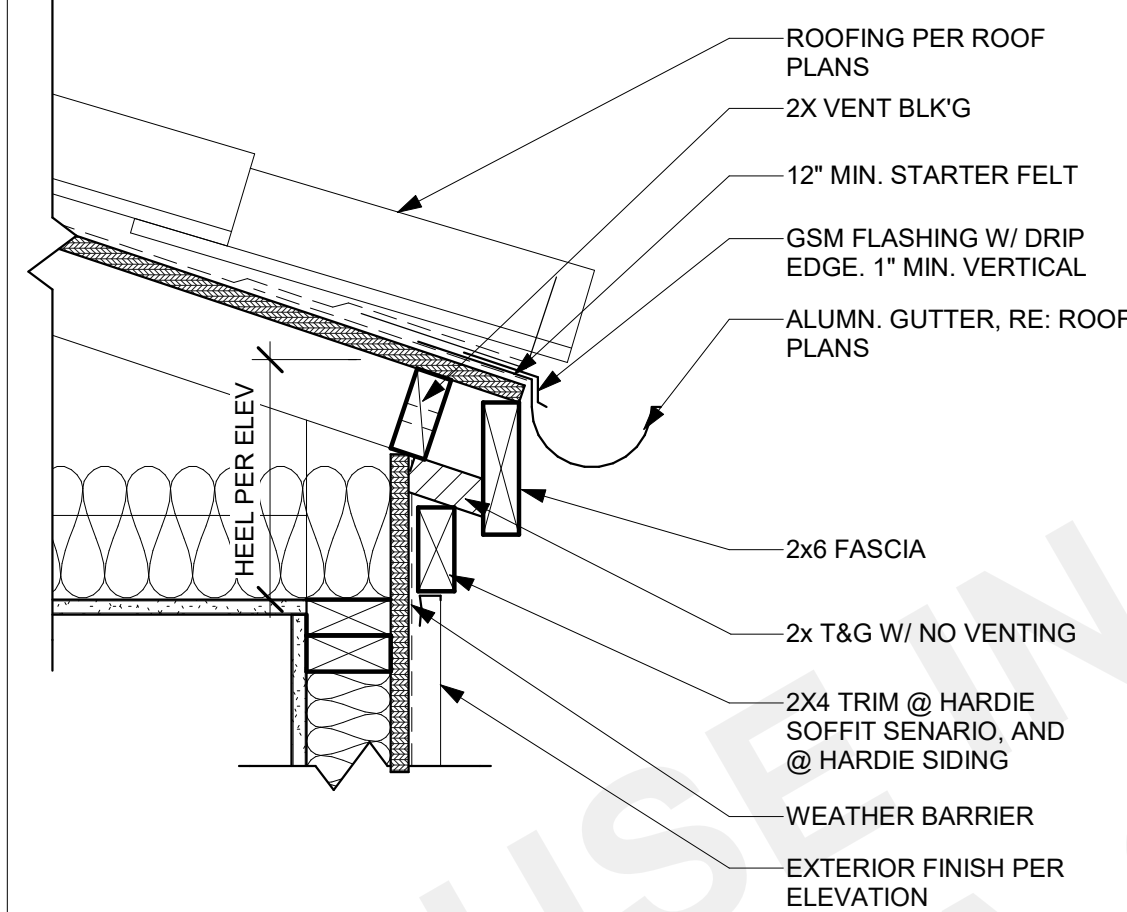
**11 WINDOW TRIM - MISSION REVIVAL**

SCALE: 3/4" = 1'-0"



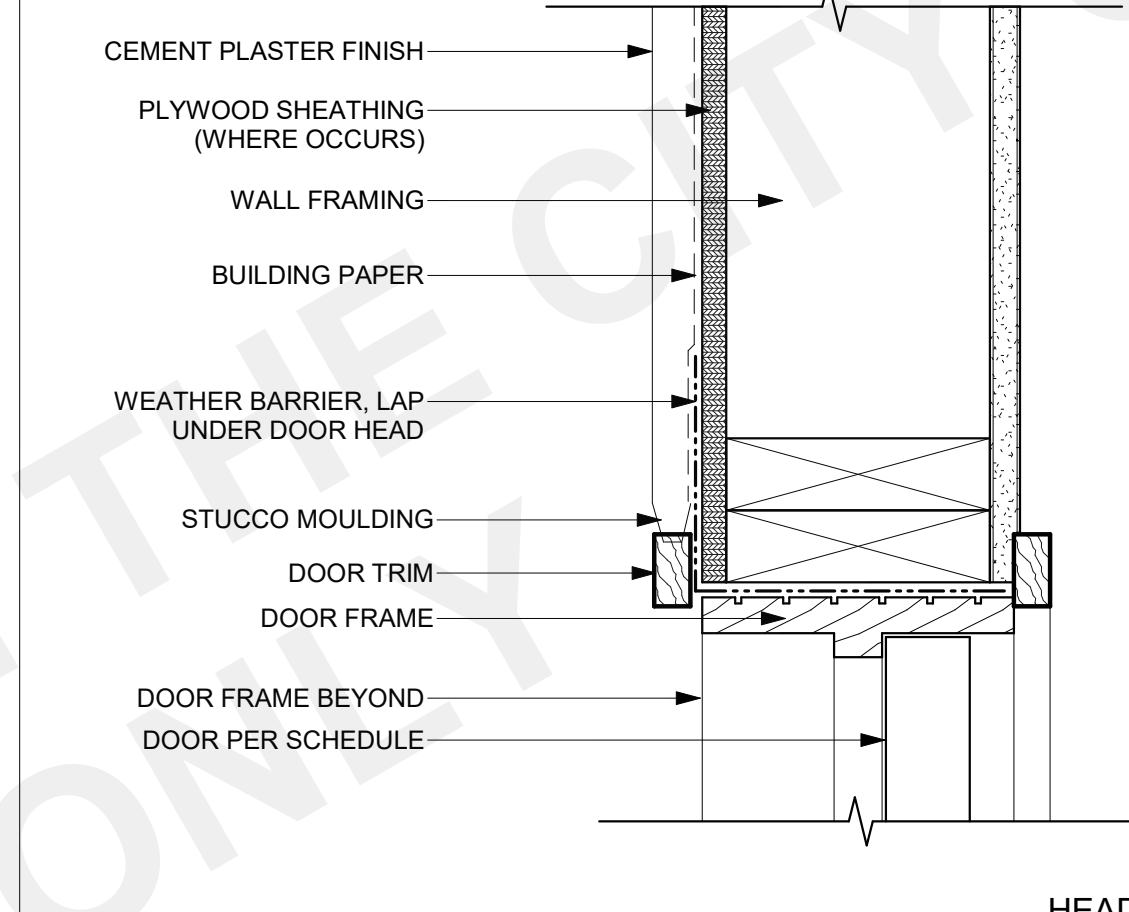
**42 LIGHT FIXTURE - MISSION REVIVAL**

SCALE: 1 1/2" = 1'-0"



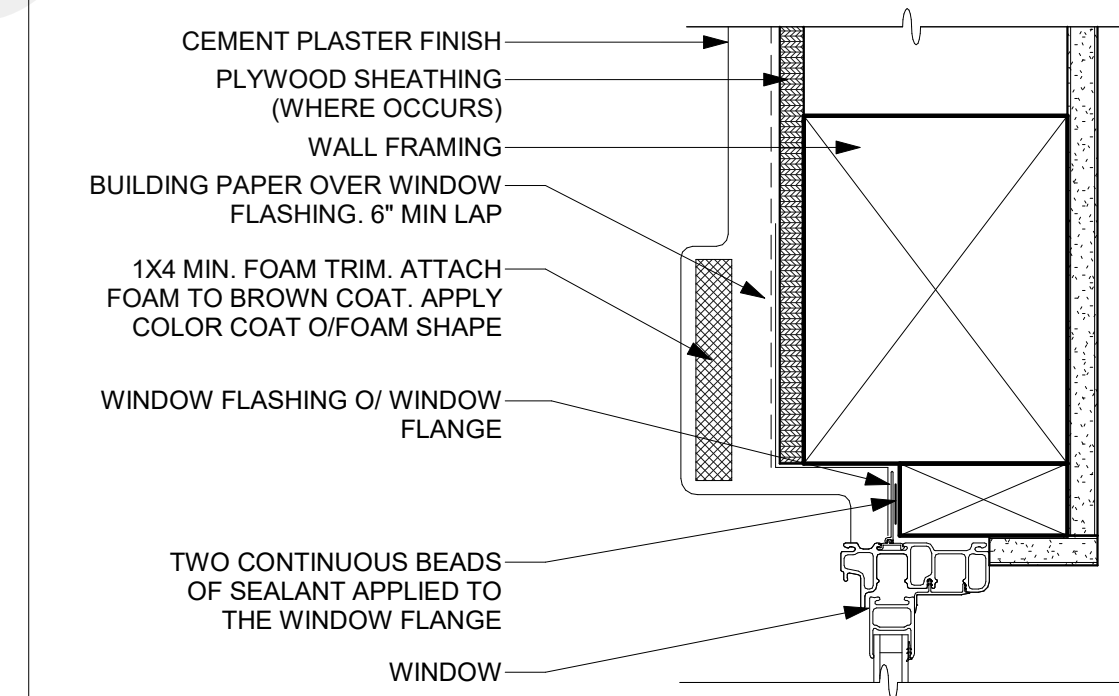
**32 EAVE @ PLASTER - MISSION**

SCALE: 1 1/2" = 1'-0"



**22 DOOR HEAD - MISSION**

SCALE: 3" = 1'-0"

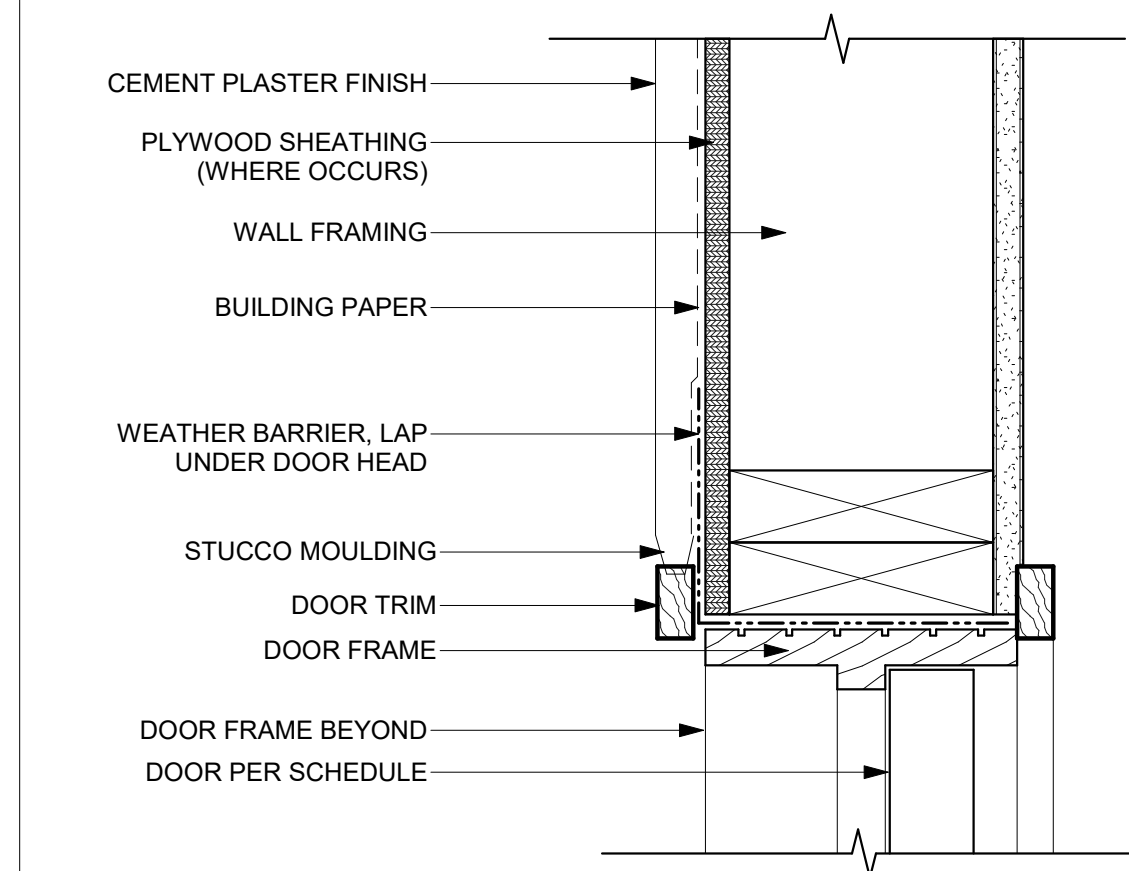


NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

HEAD

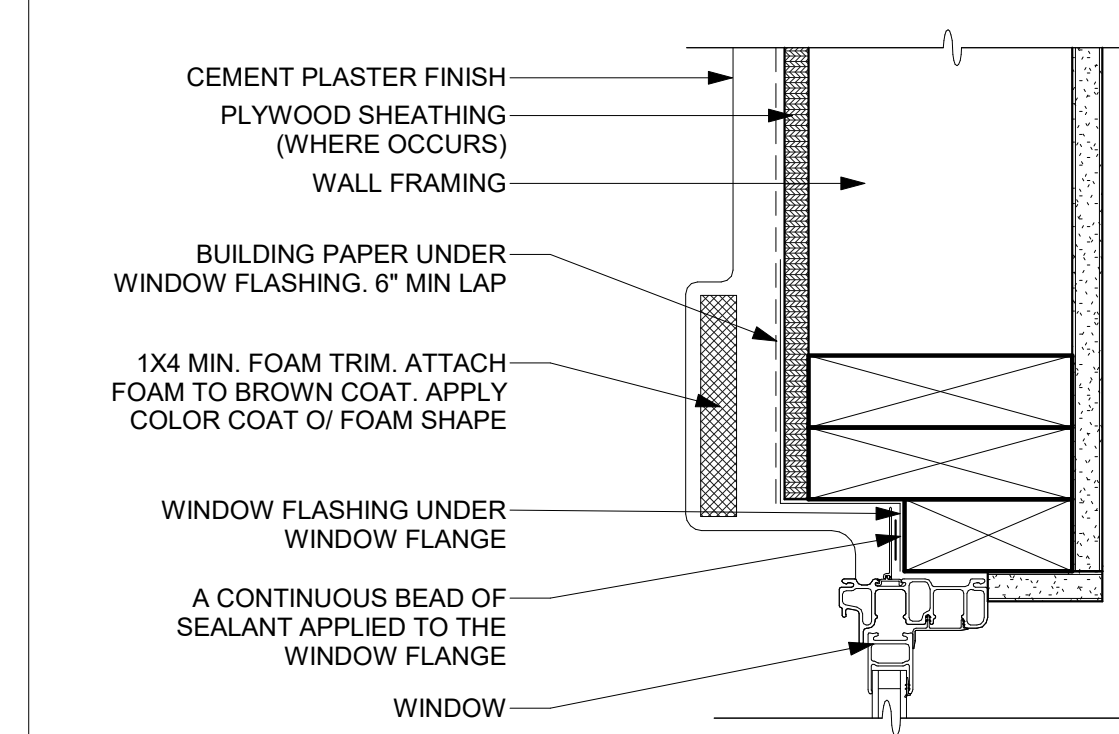
**12 TYP. WINDOW HEAD**

SCALE: 3" = 1'-0"



**23 DOOR JAMB - MISSION**

SCALE: 3" = 1'-0"



NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

JAMB

**13 TYP. WINDOW JAMB**

SCALE: 3" = 1'-0"

**33 DECORATIVE VENT SPACING**

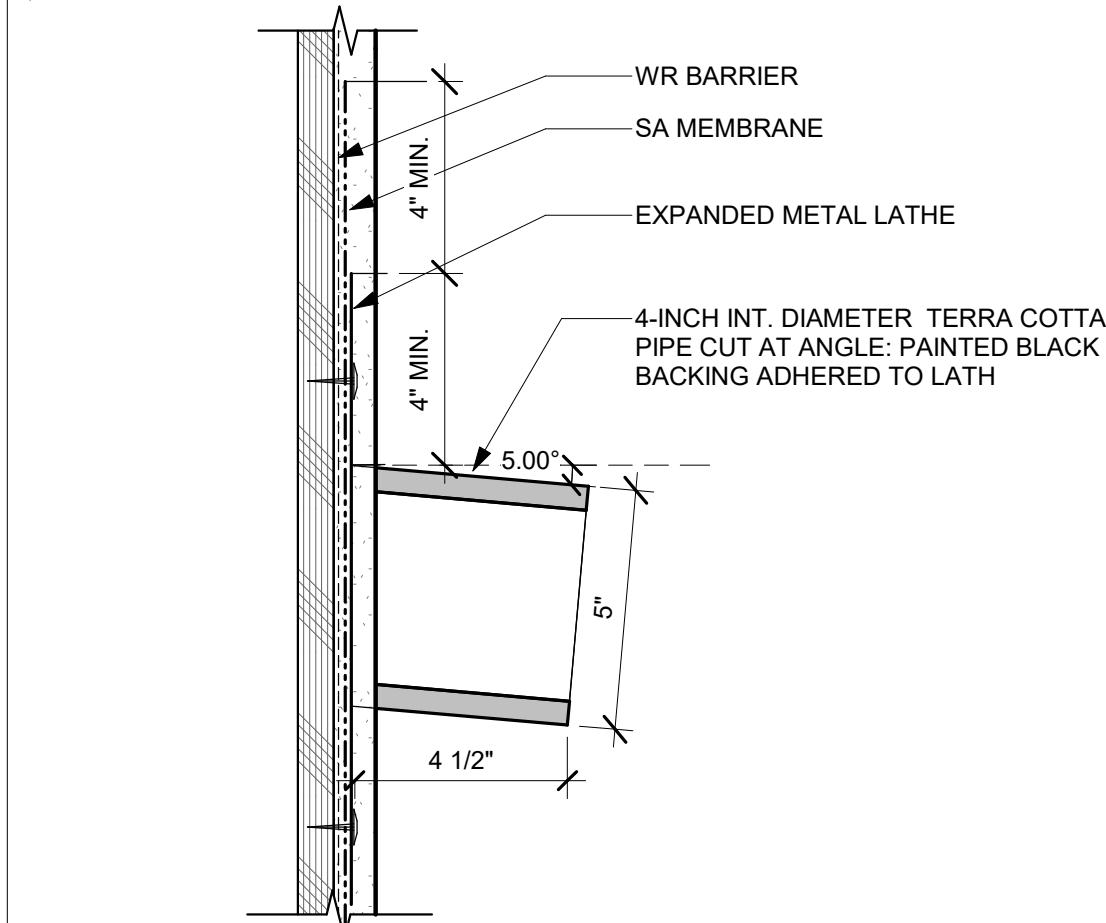
SCALE: 3" = 1'-0"

**23 DOOR JAMB - MISSION**

SCALE: 3" = 1'-0"

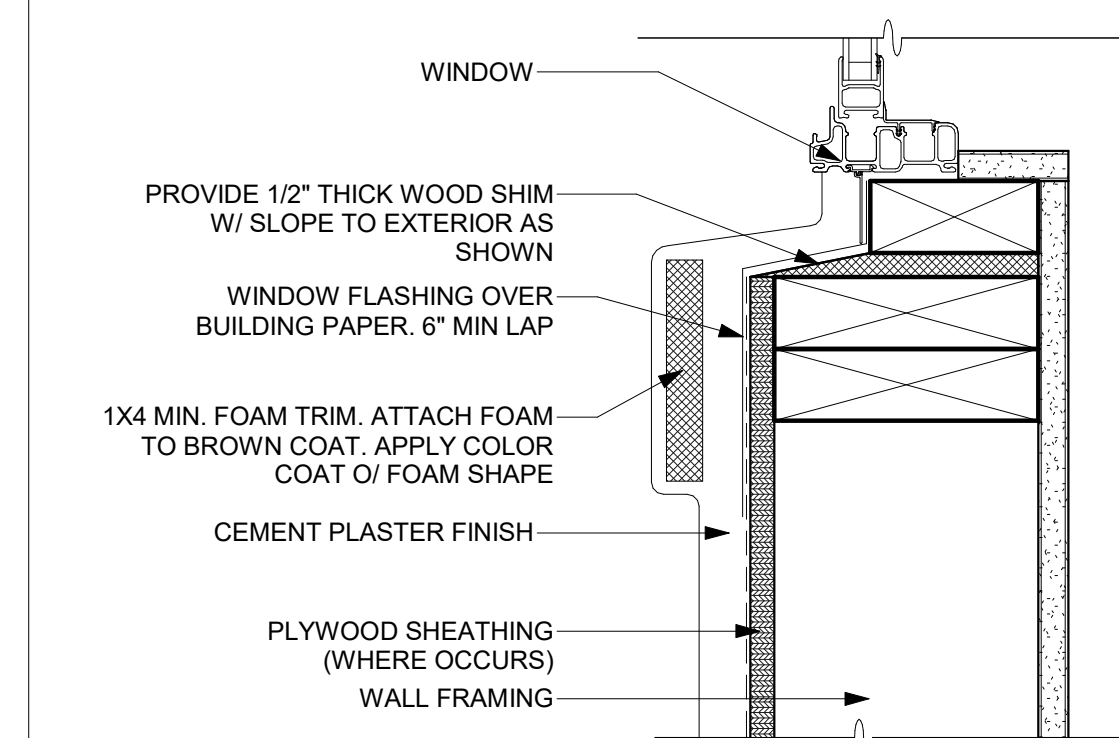
**13 TYP. WINDOW JAMB**

SCALE: 3" = 1'-0"



**34 DECORATIVE VENT ATTACHMENT**

SCALE: 3" = 1'-0"



NOTE: ALL WINDOW FLASHING SHALL COMPLY WITH MANUFACTURER/INDUSTRY STANDARDS AAMA 2400-10

SILL

**14 TYP. WINDOW SILL**

SCALE: 3" = 1'-0"

APPROVED FOR USE IN THE CITY OF COACHELLA

PROTOTYPE ADU  
 2 CAR GARAGE CONVERSION  
 COACHELLA, CA  
 ARCHITECTURAL DETAILS -  
 MISSION REVIVAL

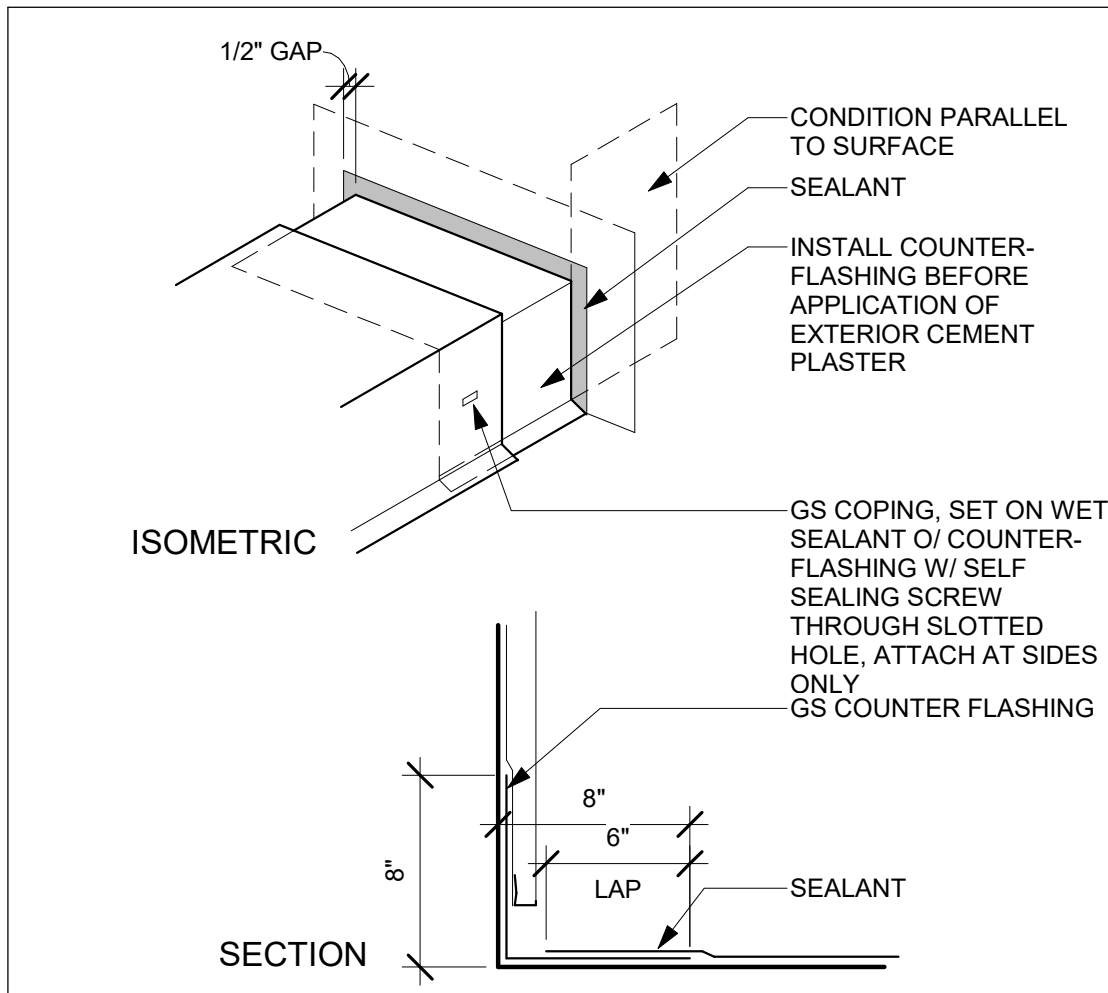
PUBLIC SET

DATE  
 01/11/24  
 SHEET

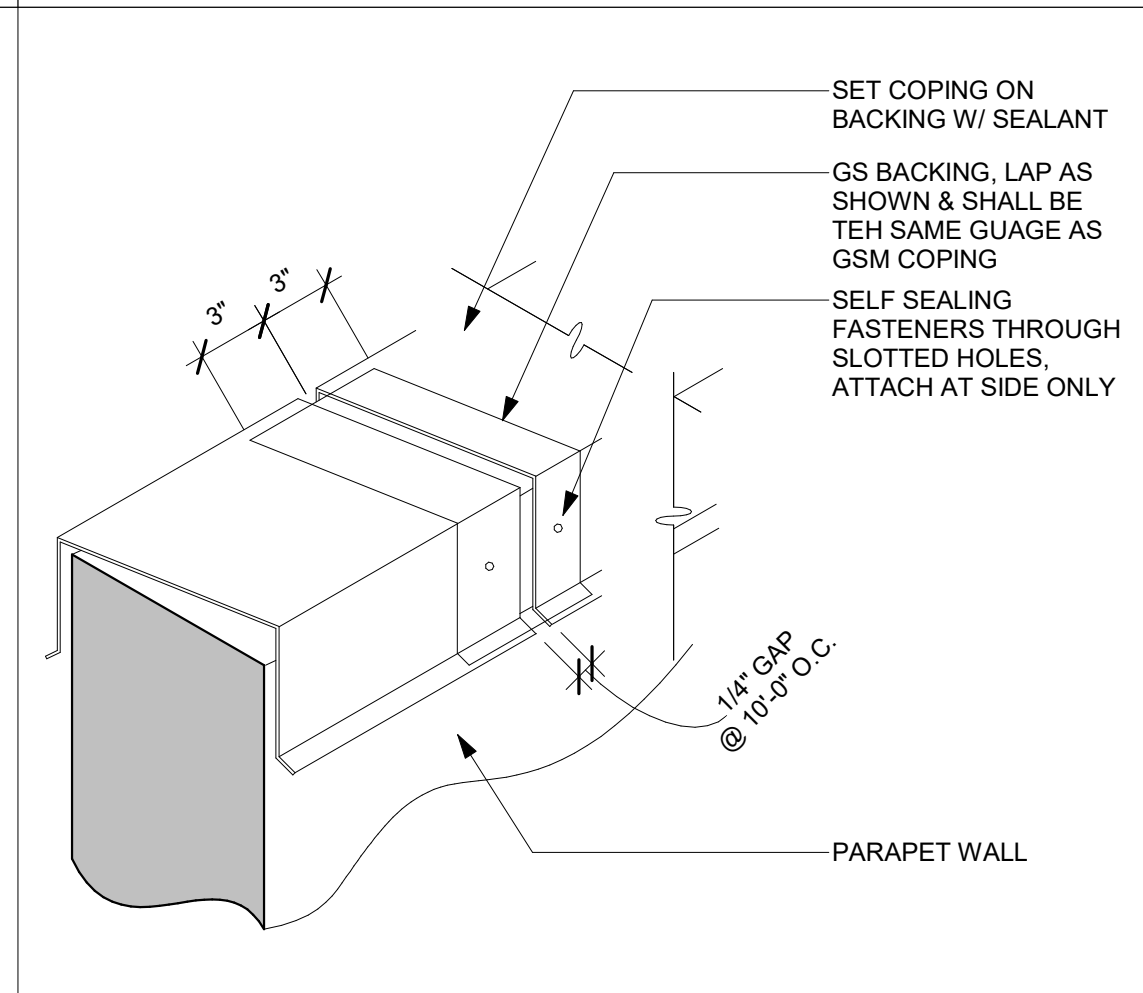
AD-903



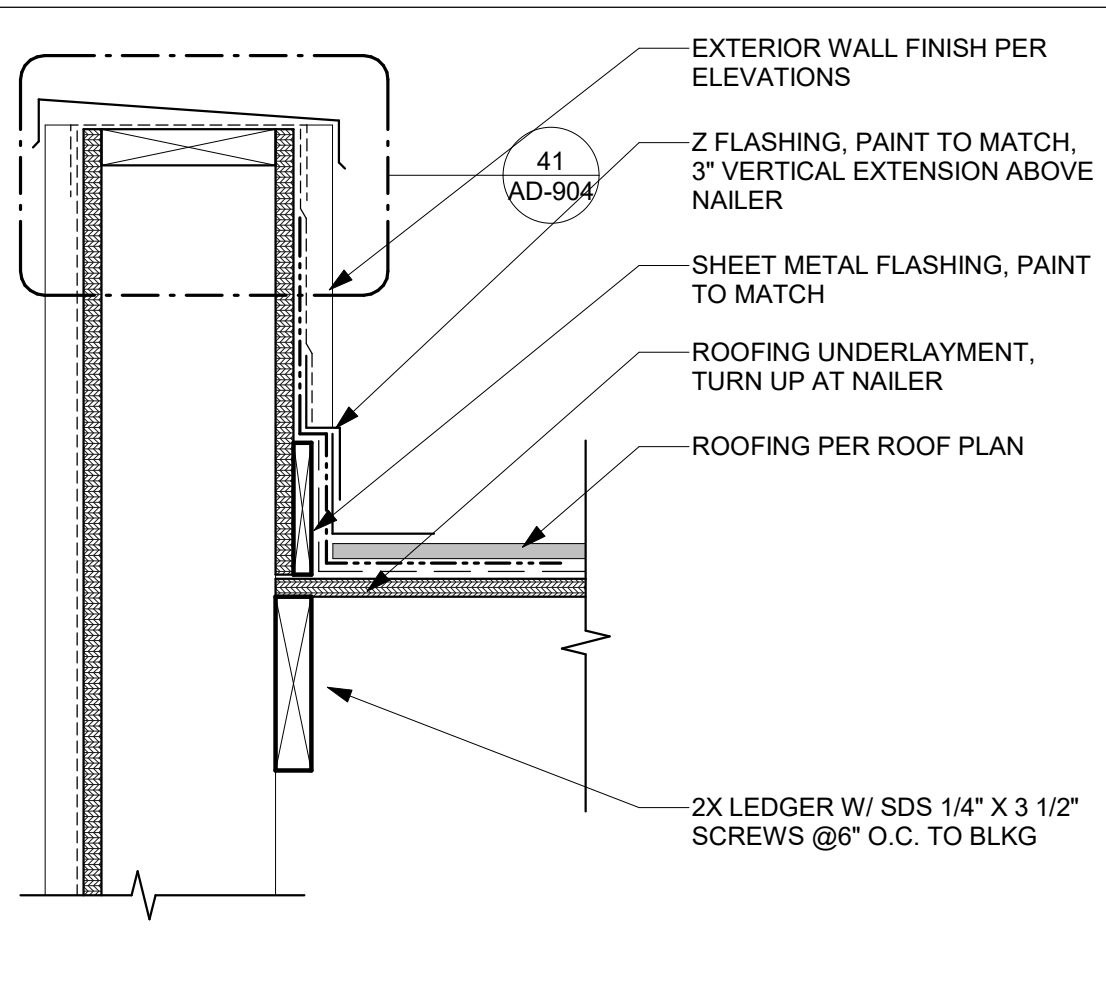
THESE PLANS ARE PROVIDED BY THE CITY OF AGOURA HILLS AS PART OF THE PRE-APPROVED ADU PROGRAM AND ARE PUBLIC DOMAIN. THERE CANNOT BE A CHARGE TO PROVIDE THESE PLANS. NO ALTERATIONS TO THESE PLANS ARE ALLOWED. ALL ALTERATIONS MUST BE DONE UNDER A SEPARATE PERMIT ONCE THE BUILDING PERMIT FOR THE ADU HAS BEEN ISSUED AND FINAL INSPECTION COMPLETED. IF YOU DO NOT HAVE THE CONSTRUCTION KNOWLEDGE AND EXPERIENCE TO CONSTRUCT THESE PLANS WITHOUT FURTHER DETAILS, IT IS RECOMMENDED YOU HIRE A CONTRACTOR TO DO THE CONSTRUCTION. THE CITY WILL NOT PROVIDE FURTHER INFORMATION OR DETAILS AND BUILDING INSPECTORS WILL NOT PROVIDE STEP BY STEP INSTRUCTIONS IN THE FIELD.



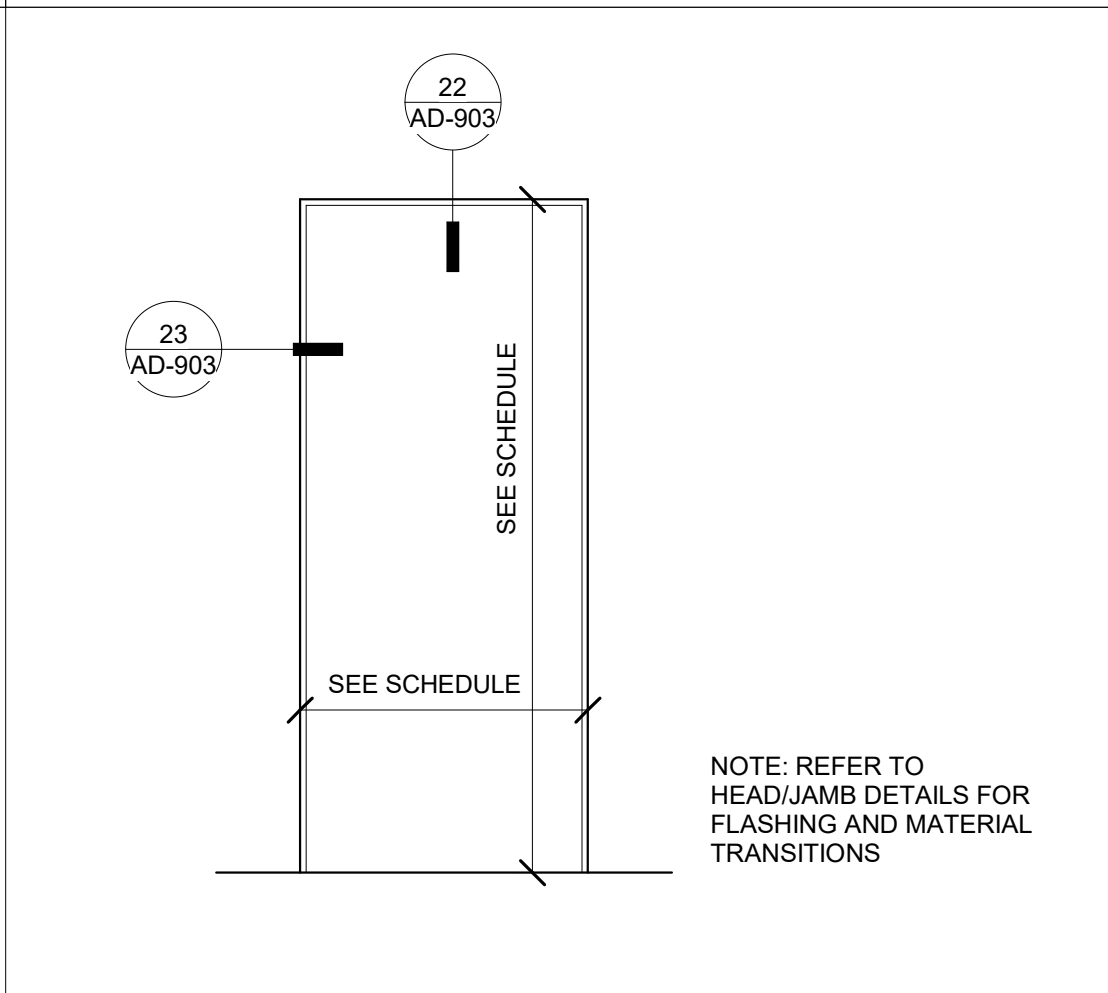
**51 PARAPET COPING FLASHING**  
SCALE: 1 1/2" = 1'-0"



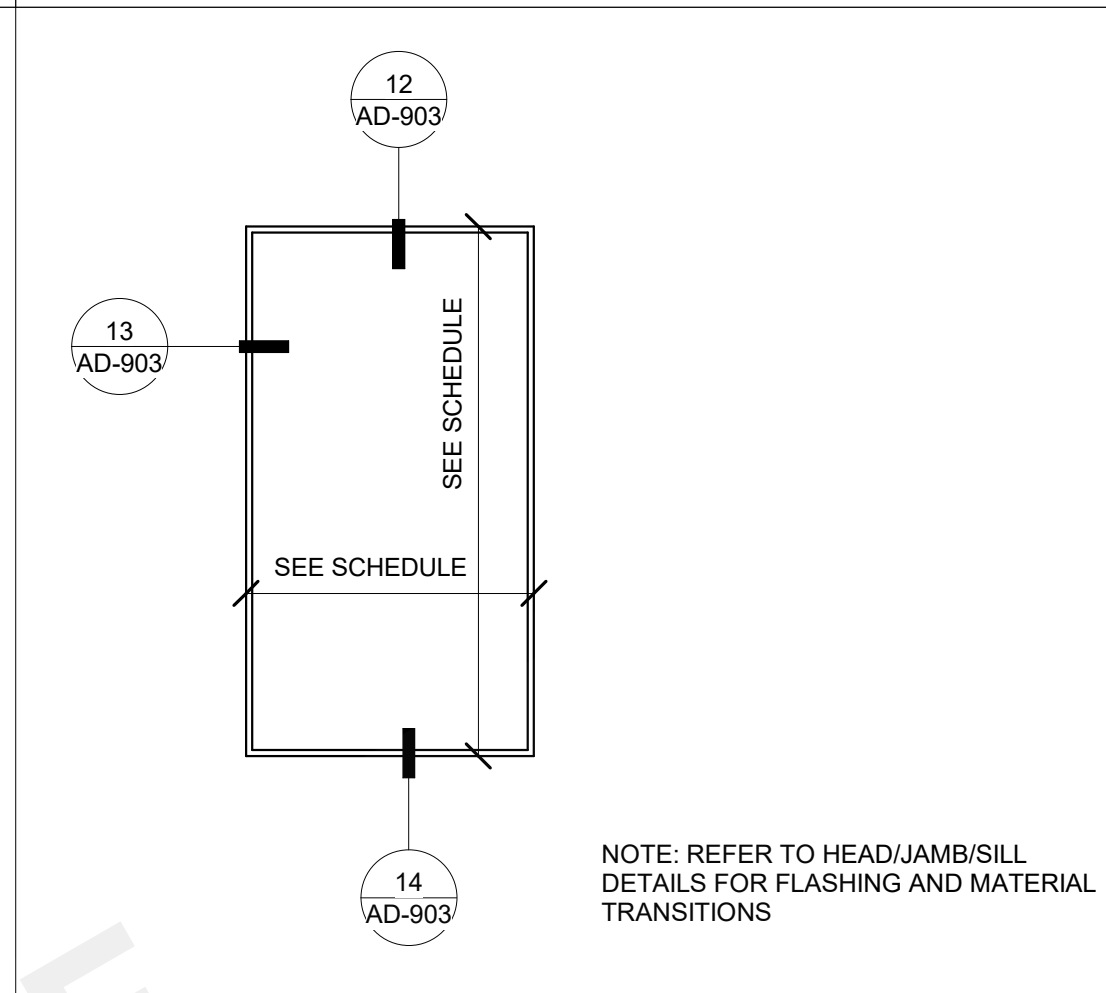
**41 PARAPET FLASHING DETAIL**  
SCALE: 1 1/2" = 1'-0"



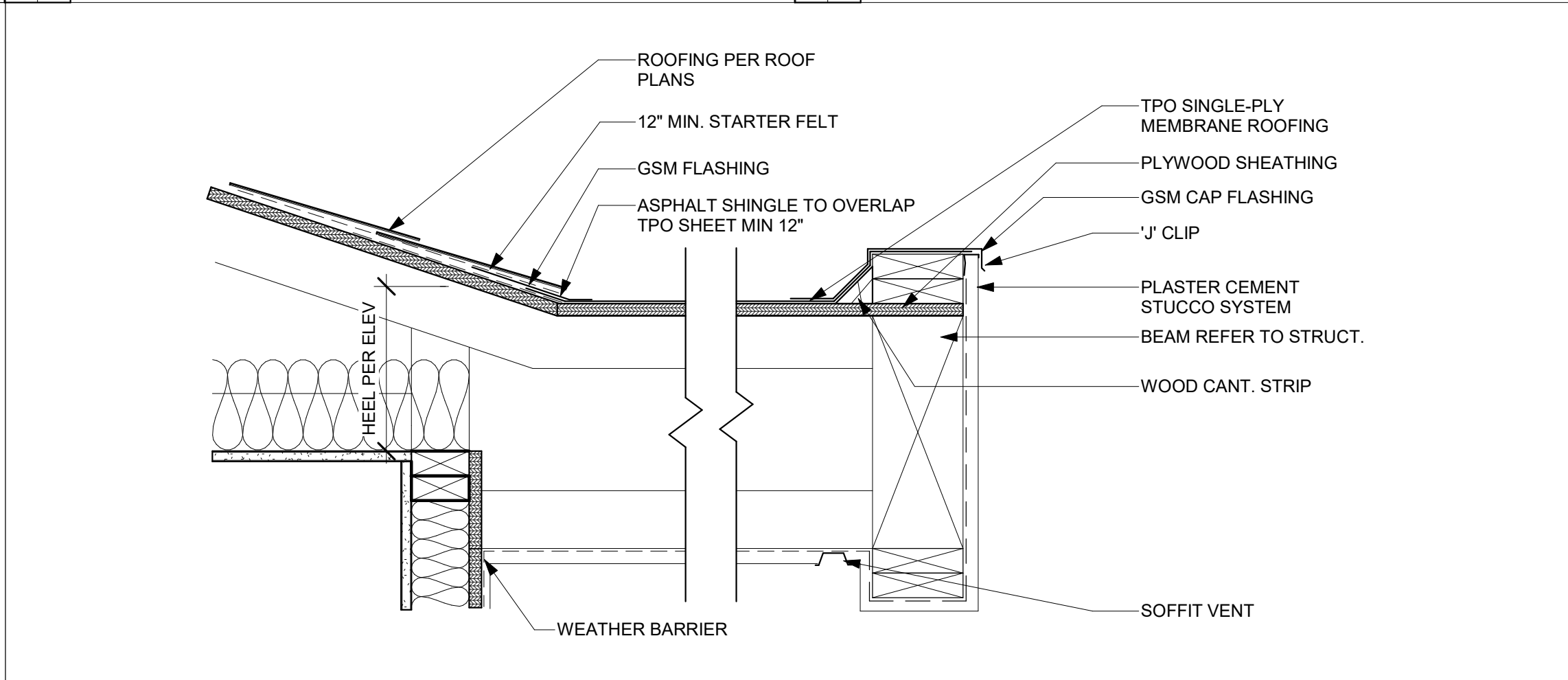
**31 COUNTERFLASHING AT PARAPET**  
SCALE: 1 1/2" = 1'-0"



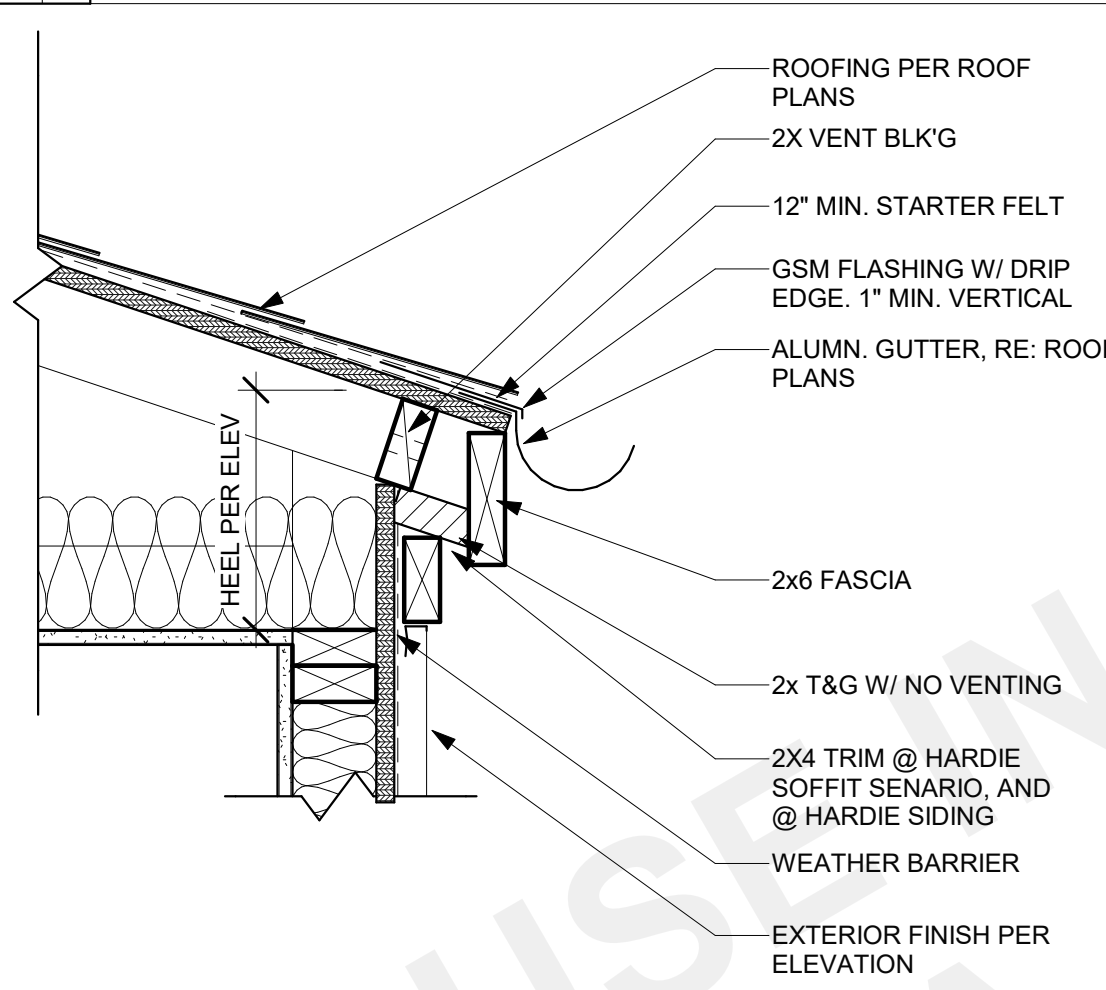
**21 DOOR TRIM - DESERT MODERN**  
SCALE: 3/4" = 1'-0"



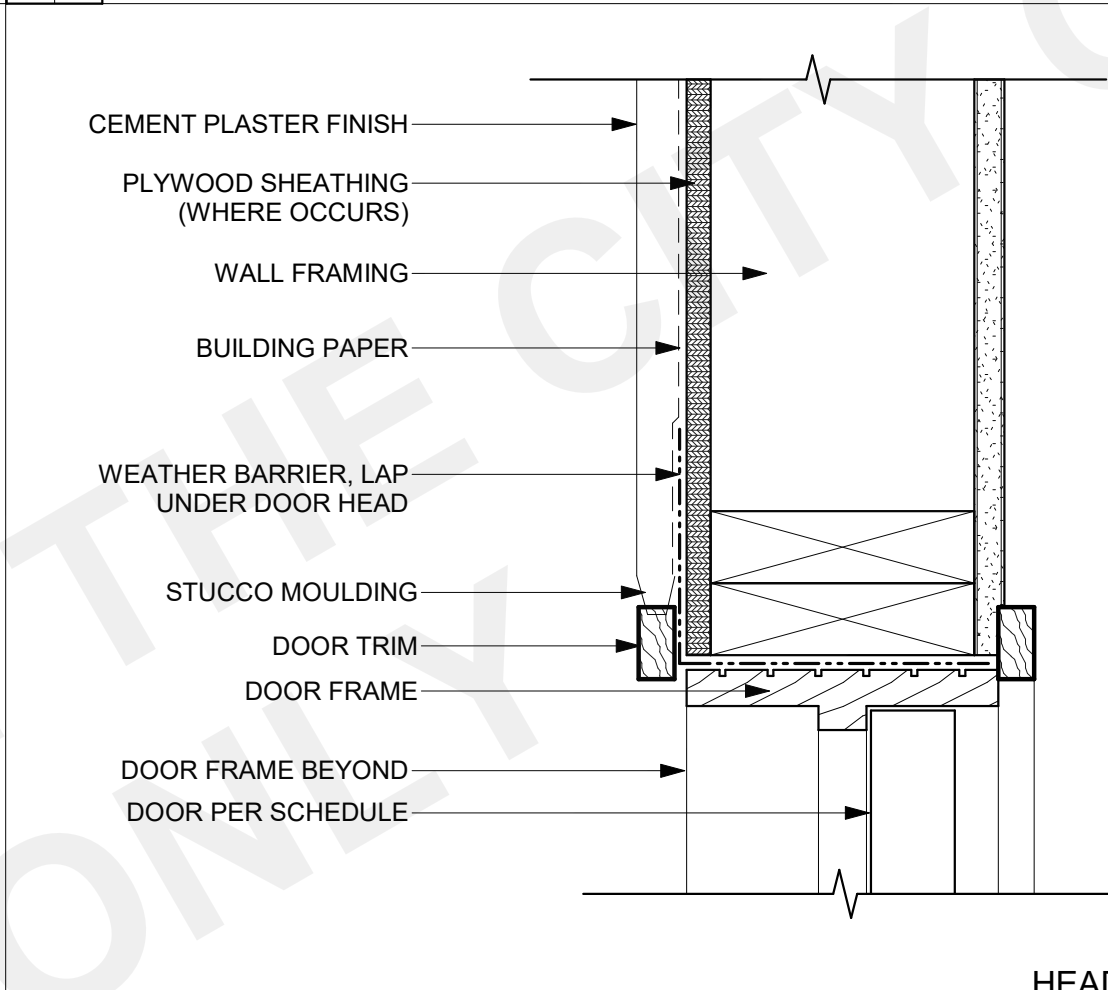
**11 WINDOW TRIM - DESERT MODERN**  
SCALE: 3/4" = 1'-0"



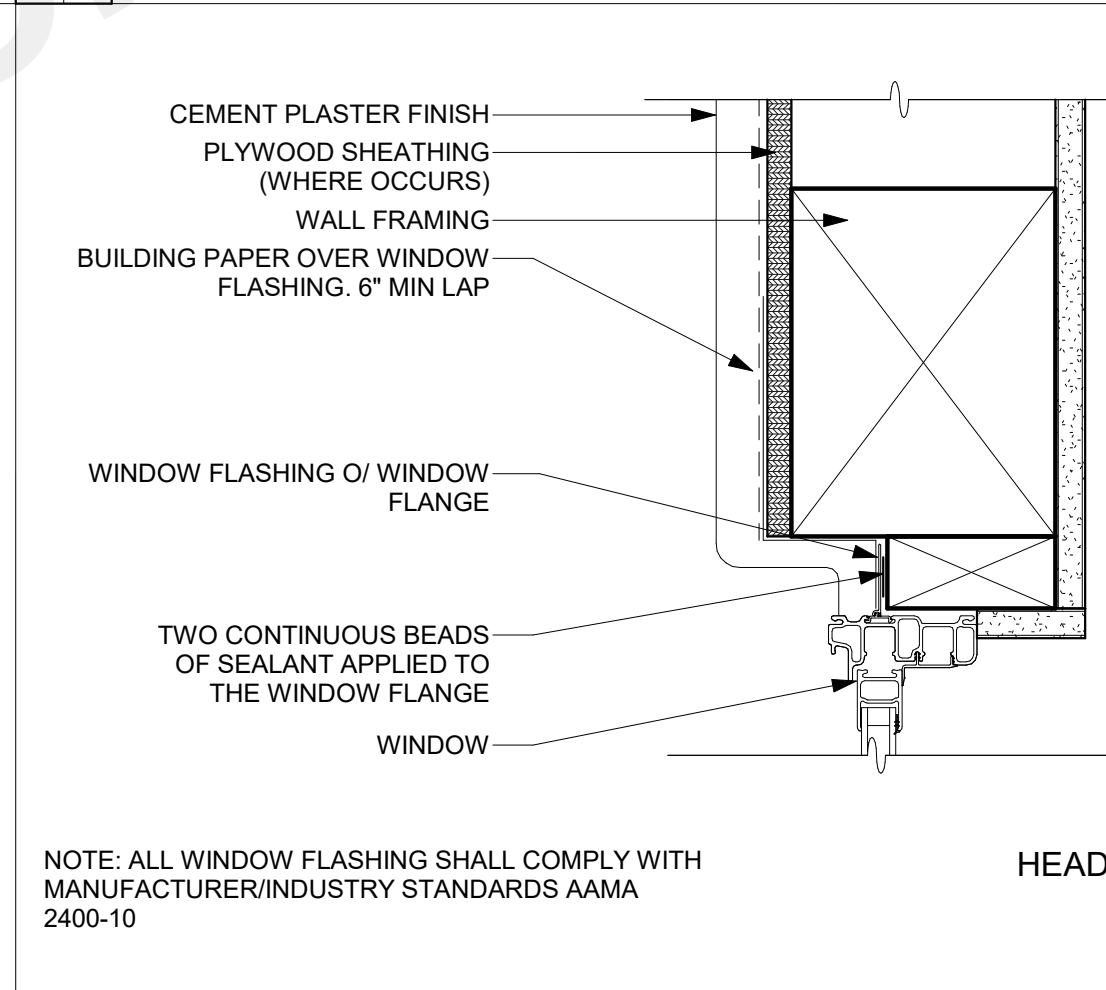
**52 ROOF TO PORCH - DESERT MODERN**  
SCALE: 1 1/2" = 1'-0"



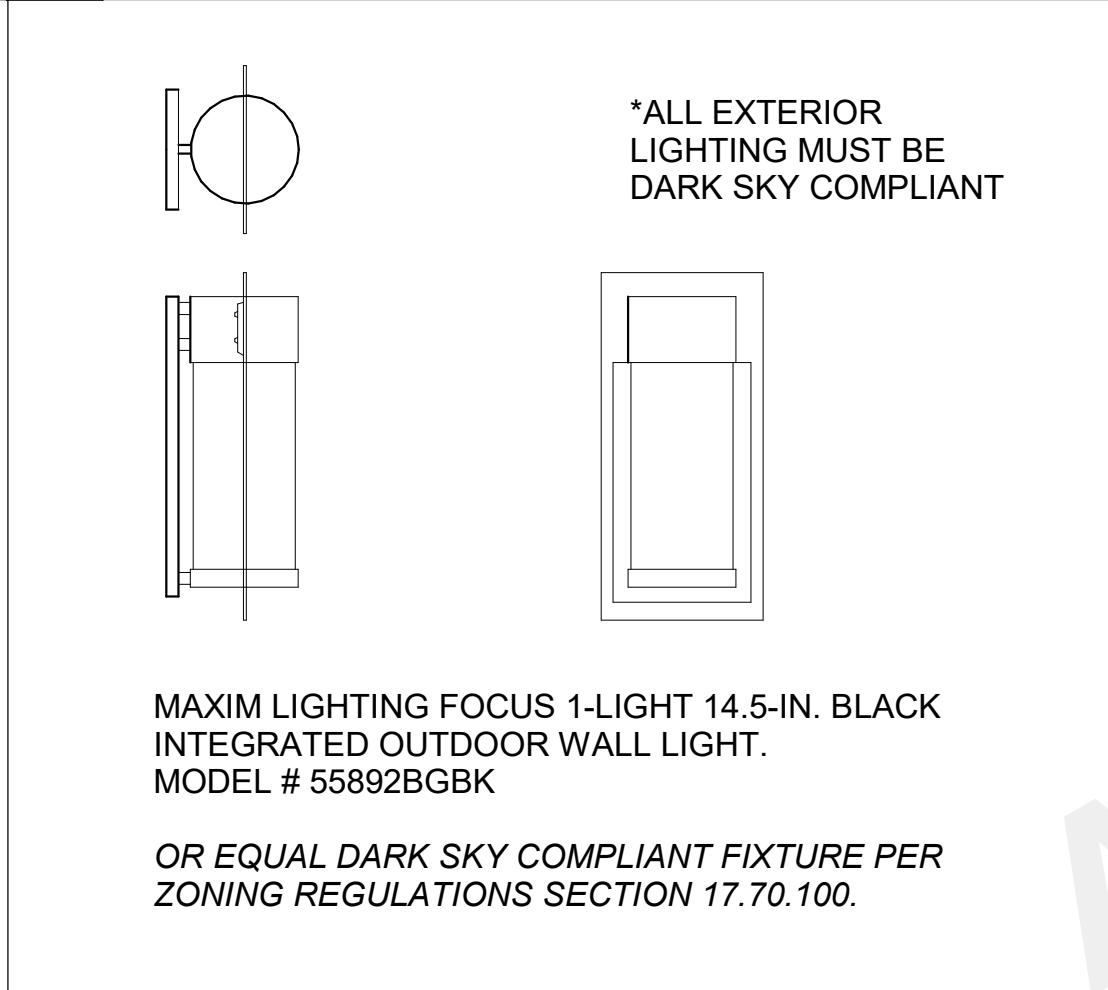
**32 EAVE @ PLASTER - MODERN**  
SCALE: 1 1/2" = 1'-0"



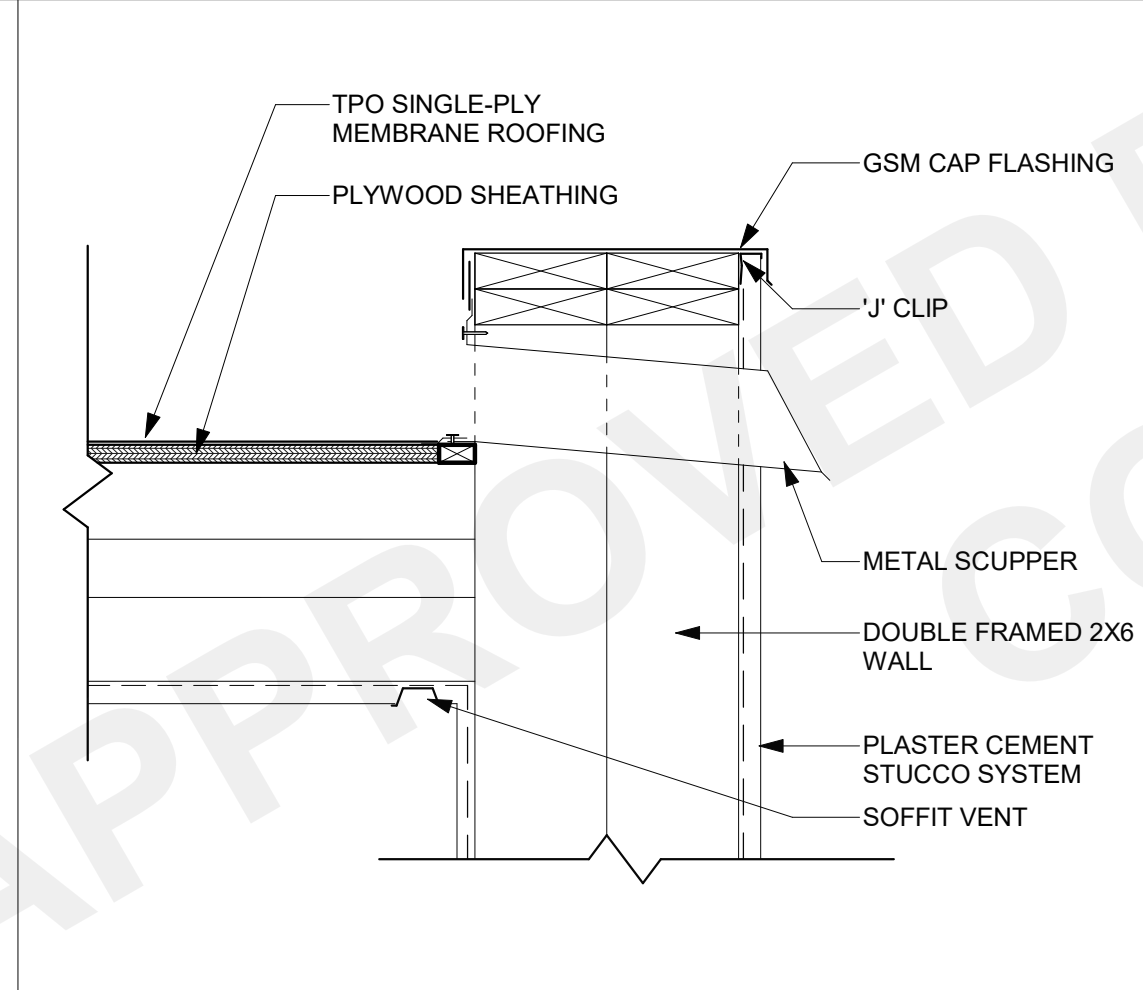
**22 DOOR HEAD - MODERN**  
SCALE: 3" = 1'-0"



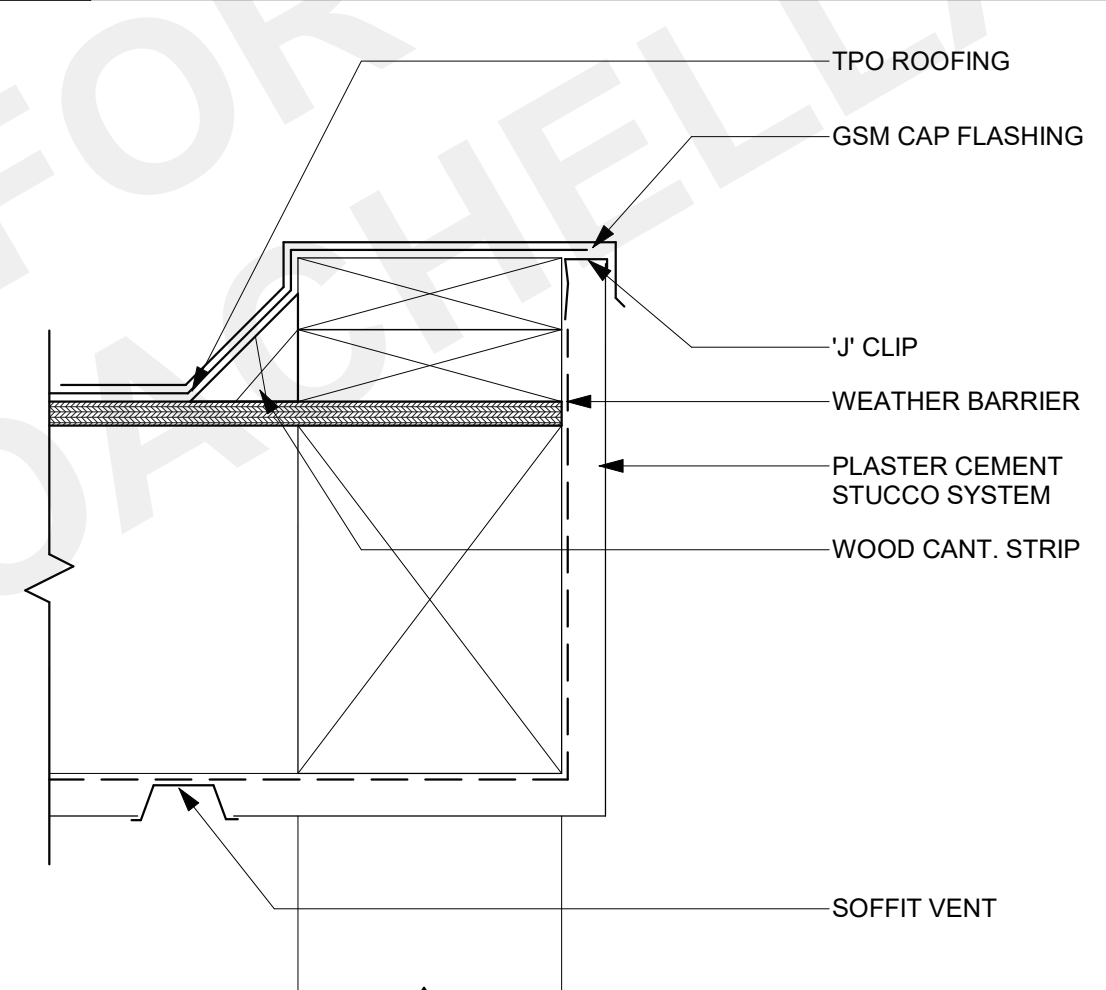
**12 TYP. WINDOW HEAD**  
SCALE: 3" = 1'-0"



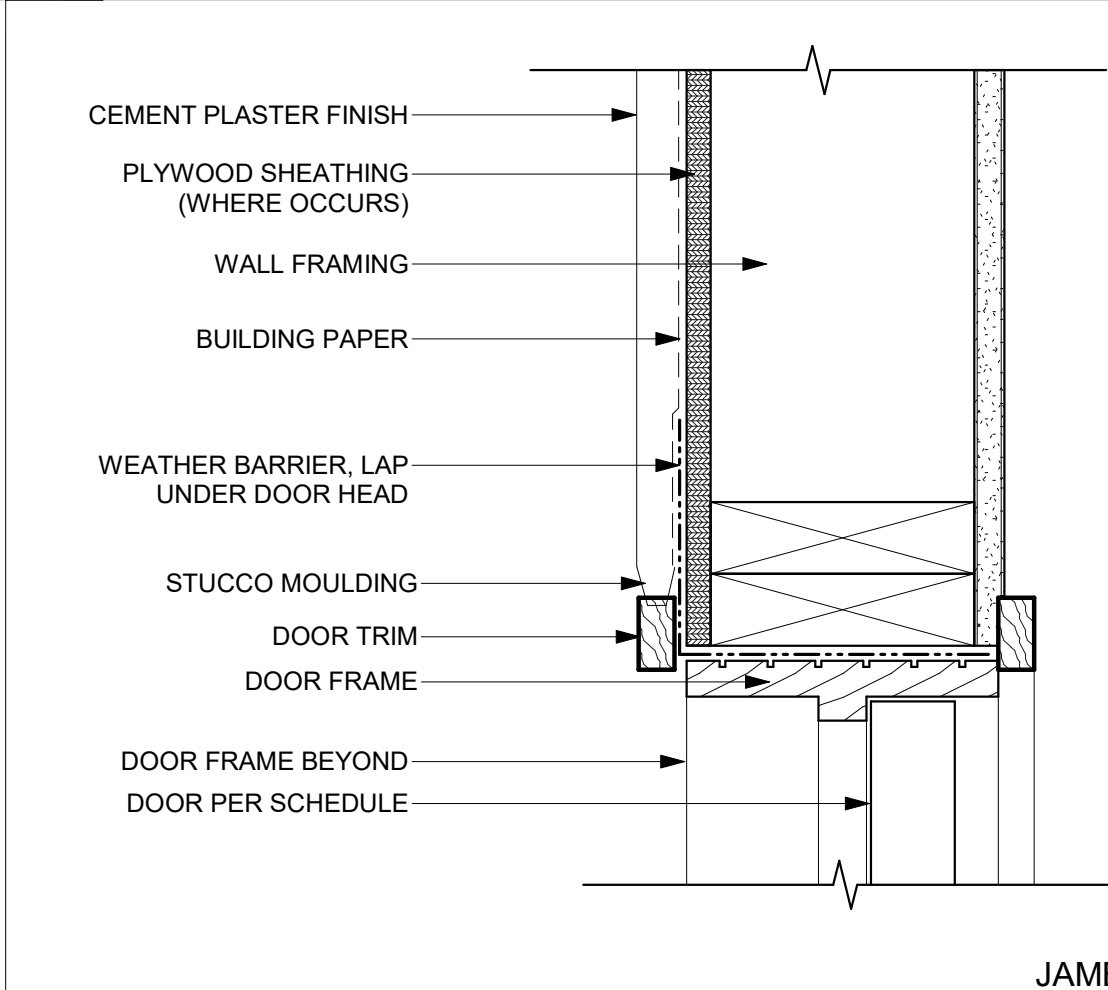
**53 LIGHT FIXTURE - DESERT MODERN**  
SCALE: 1 1/2" = 1'-0"



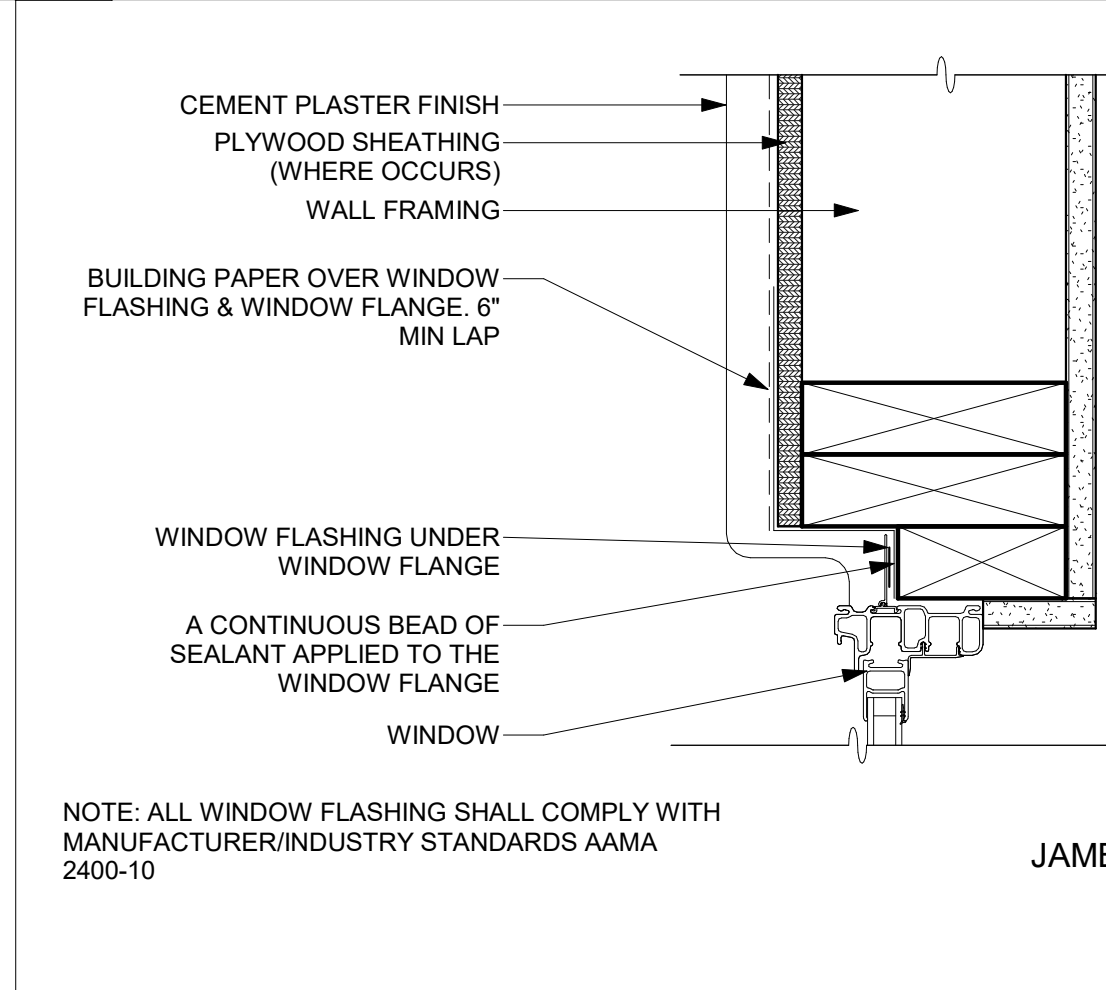
**43 ROOF SCUPPER - DESERT MODERN**  
SCALE: 1 1/2" = 1'-0"



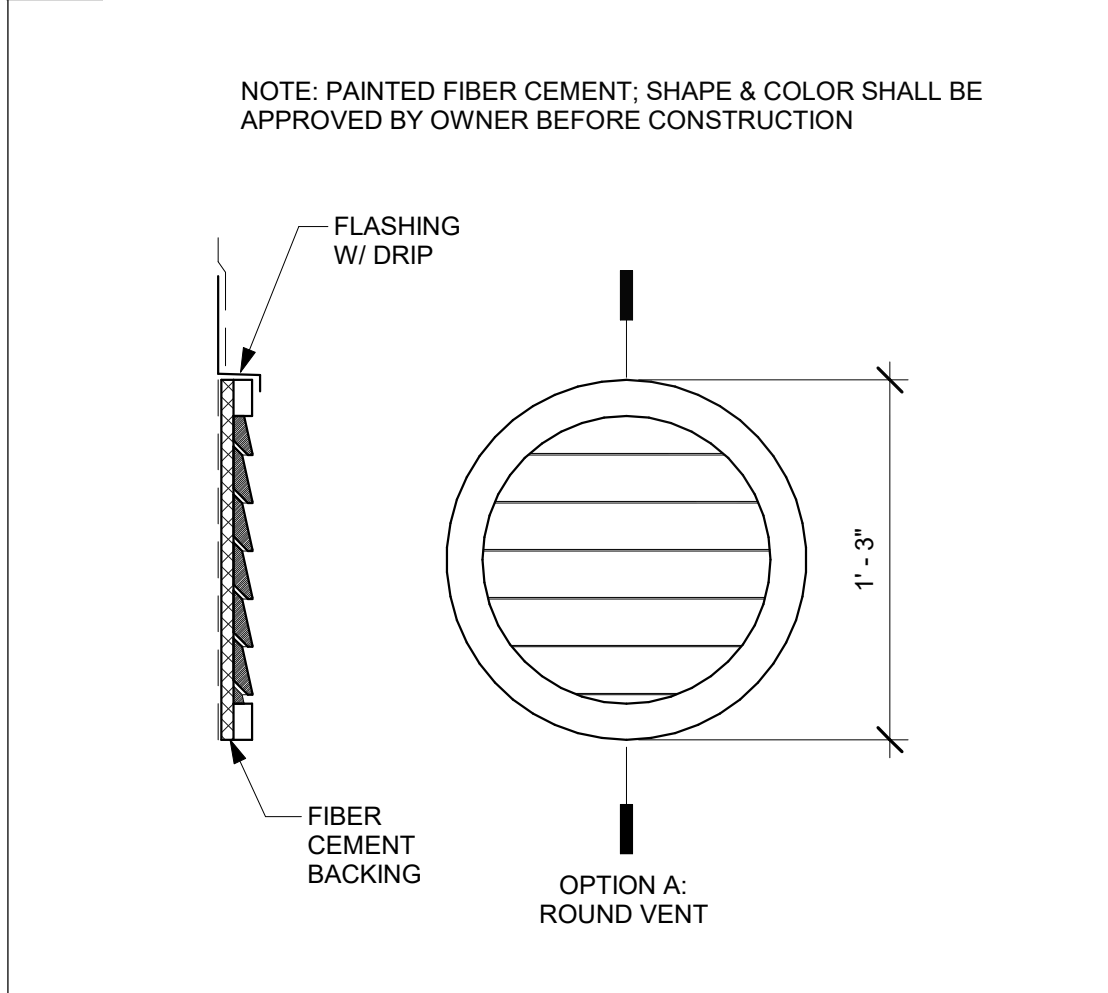
**33 POST CAP AND BASE - MODERN**  
SCALE: 3" = 1'-0"



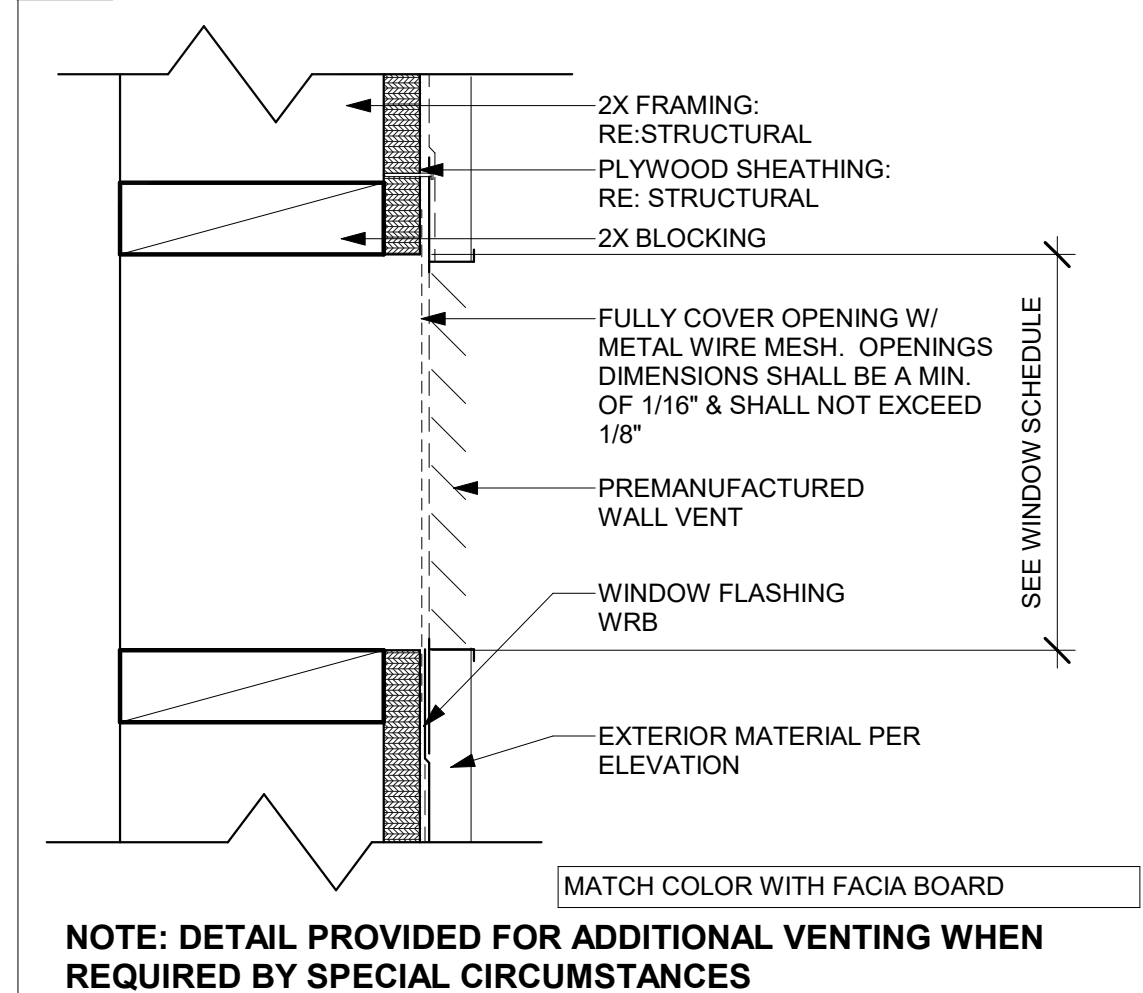
**23 DOOR JAMB - MODERN**  
SCALE: 3" = 1'-0"



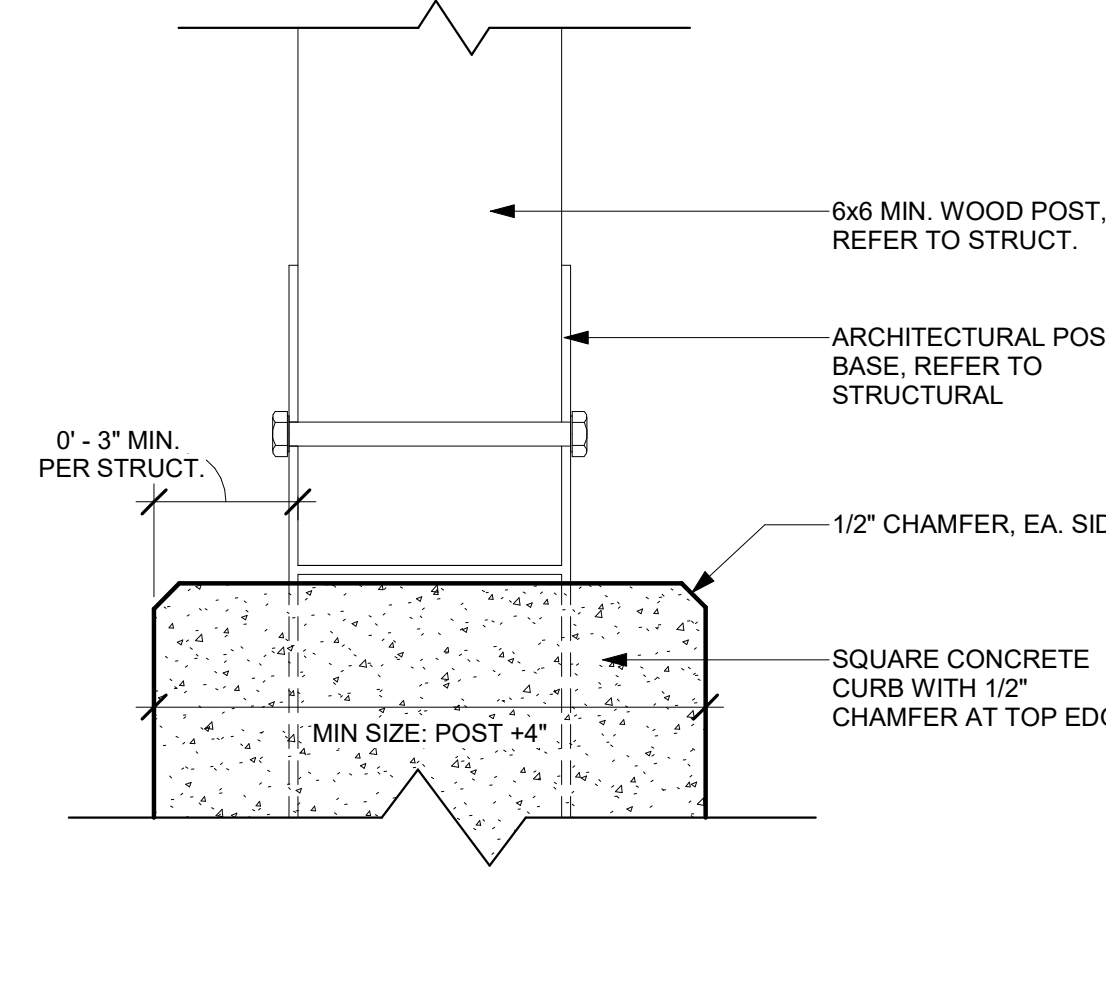
**13 TYP. WINDOW JAMB**  
SCALE: 3" = 1'-0"



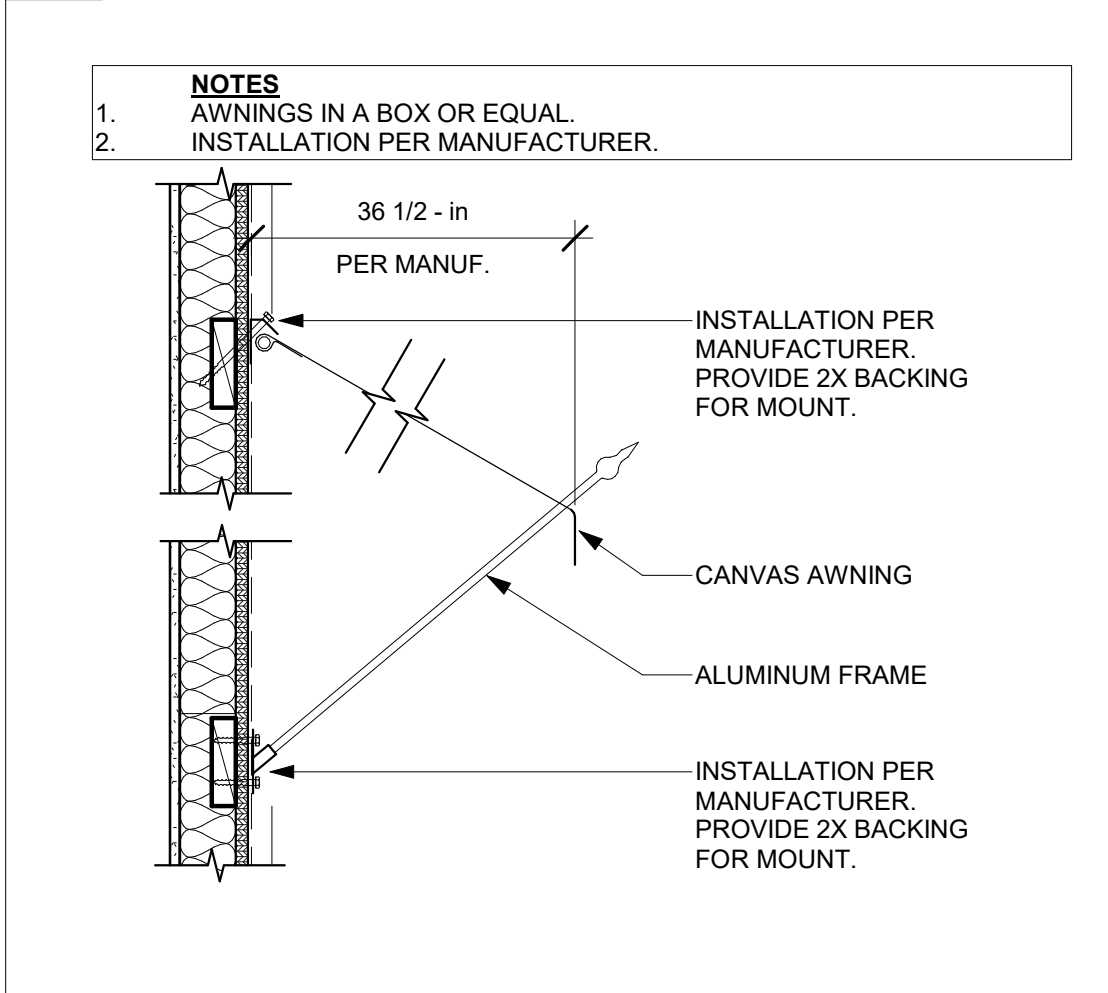
**54 CIRCLE VENT**  
SCALE: 1 1/2" = 1'-0"



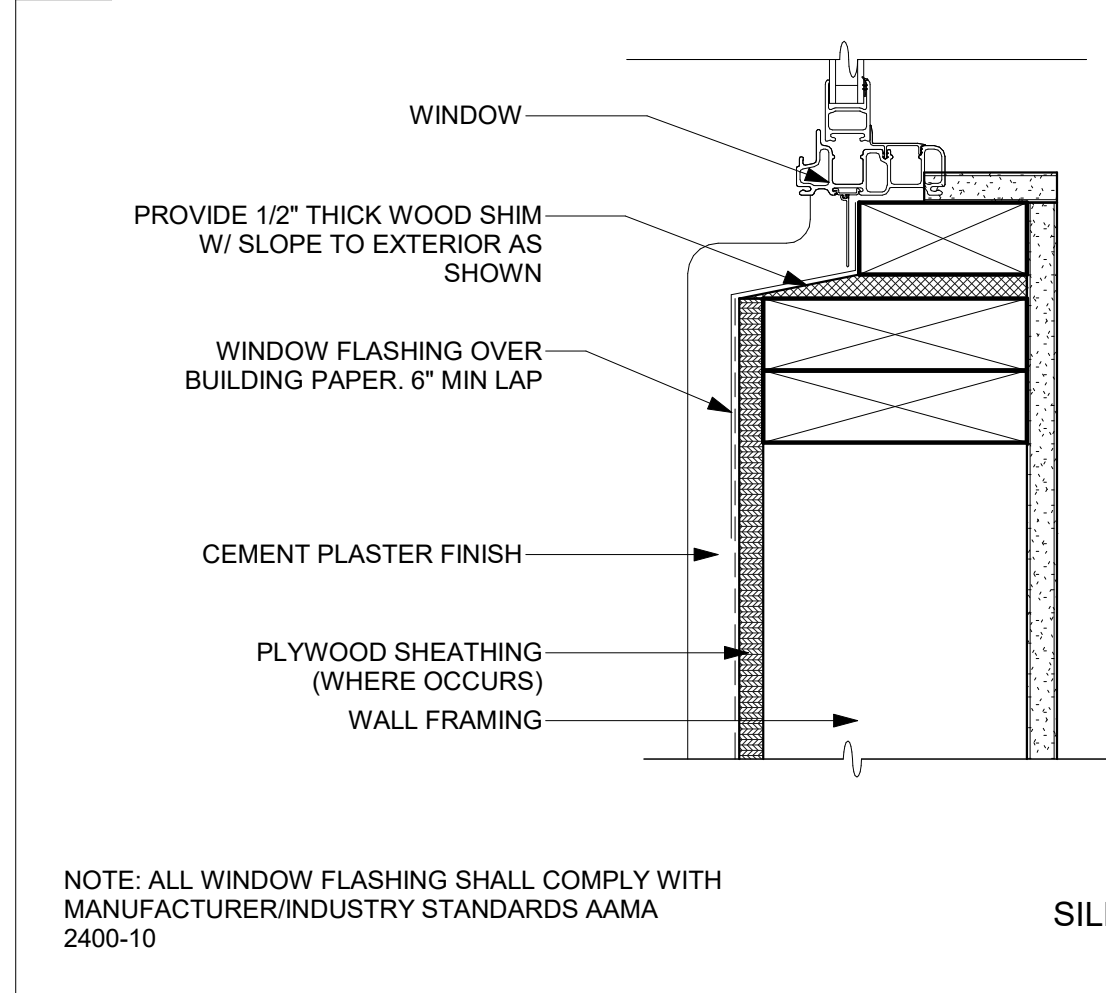
**44 WALL VENT**  
SCALE: 3" = 1'-0"



**34 POST CAP AND BASE - MODERN**  
SCALE: 3" = 1'-0"



**24 AWNING - MODERN**  
SCALE: 1" = 1'-0"



**14 TYP. WINDOW SILL**  
SCALE: 3" = 1'-0"

**PROTOTYPE ADU**  
**2 CAR GARAGE CONVERSION**  
 COACHELLA, CA  
**ARCHITECTURAL DETAILS - DESERT MODERN**

PUBLIC SET

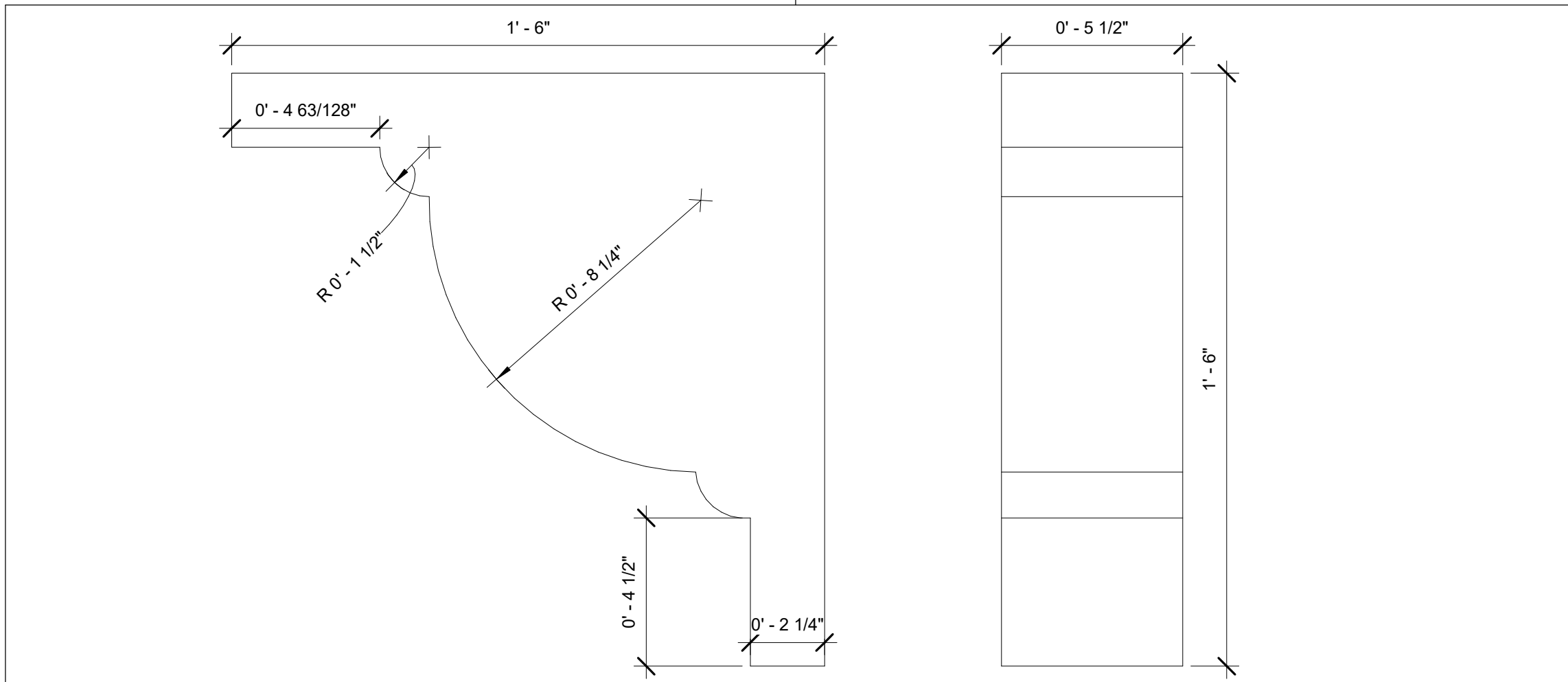
DATE  
01/11/24  
SHEET

**AD-904**

1/19/2024 8:55:09 AM Autodesk Docs:12899\_Coachella ADU122939-01\_Coachella ADU\_Garage Unit.rvt

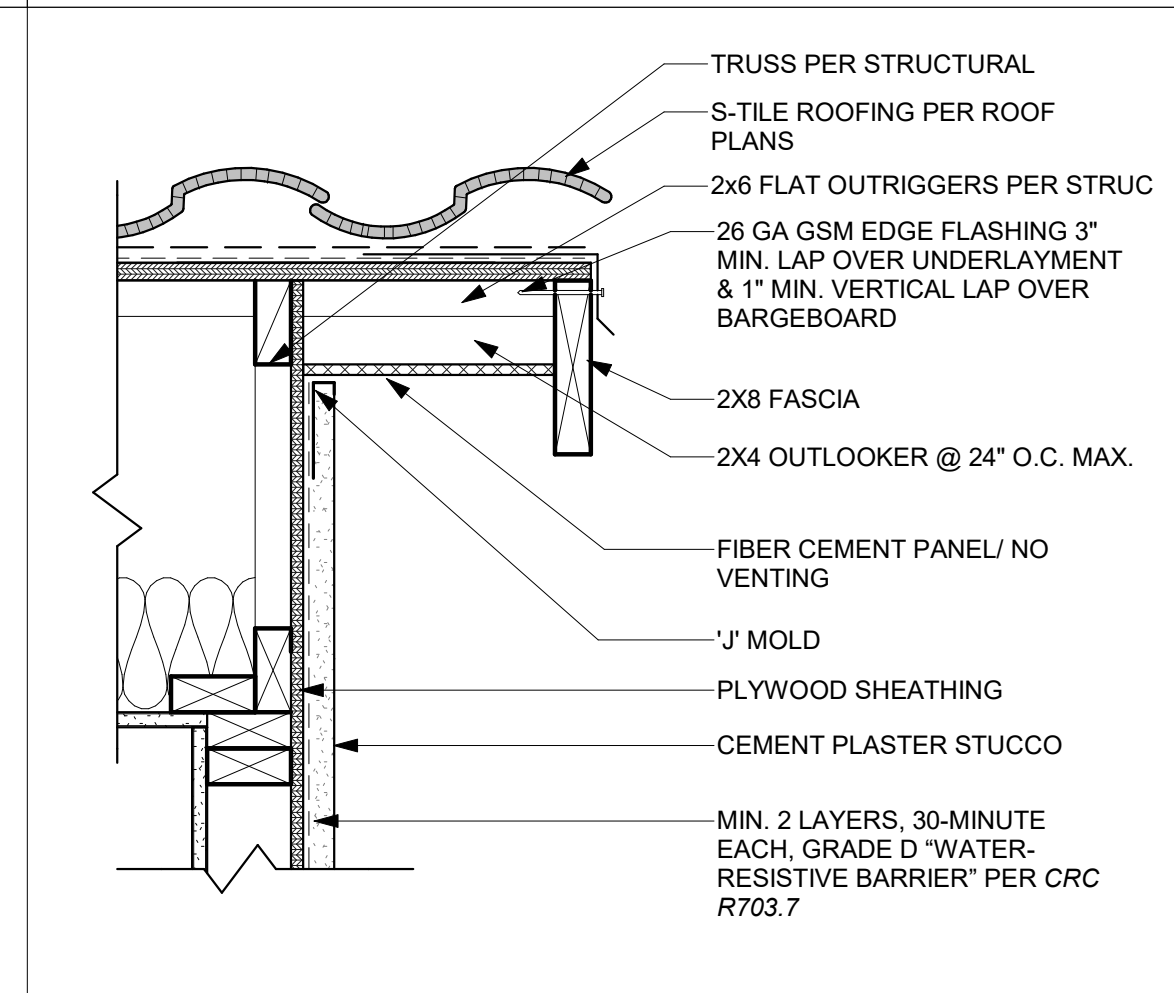


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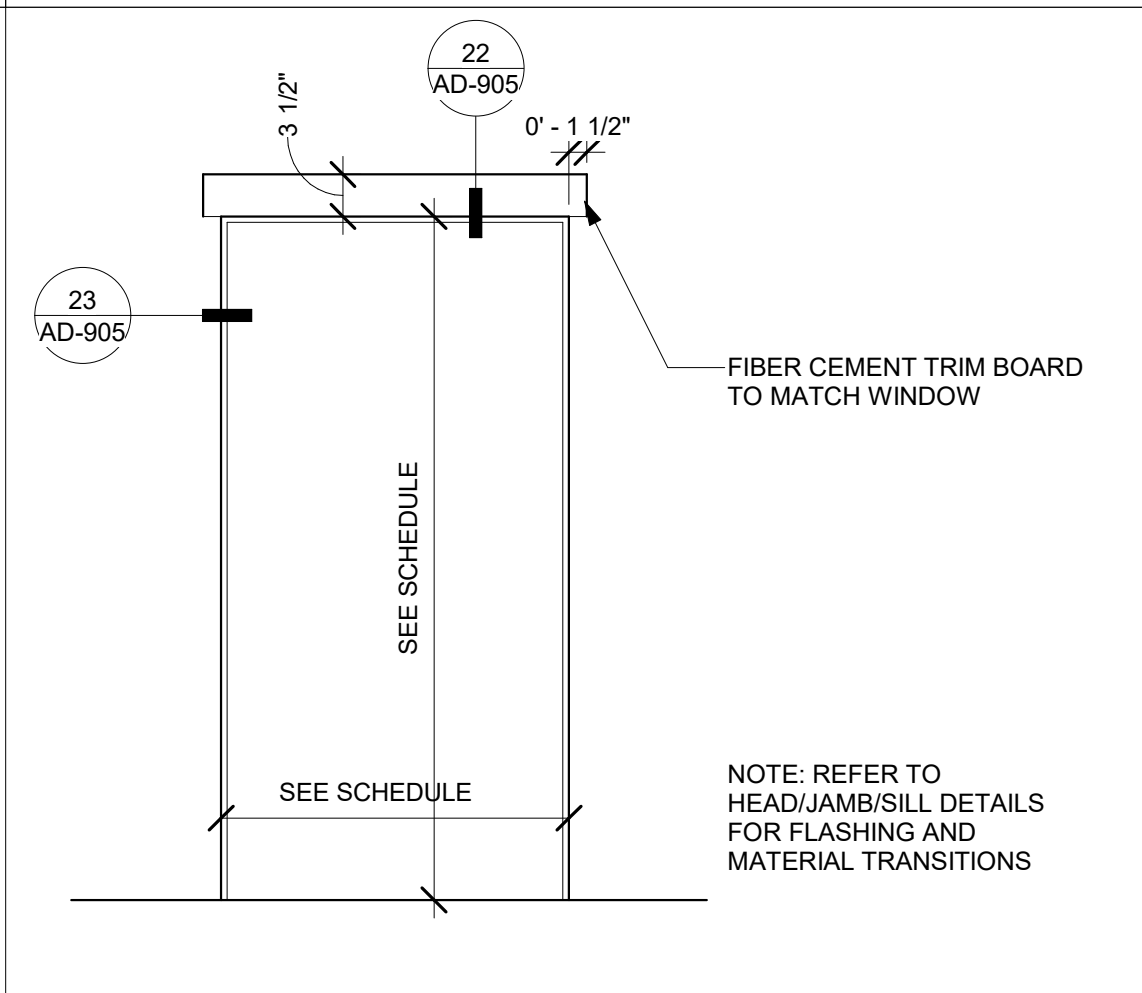
**51 DECORATIVE CORBEL - SPANISH LARGE**

SCALE: 3" = 1'-0"



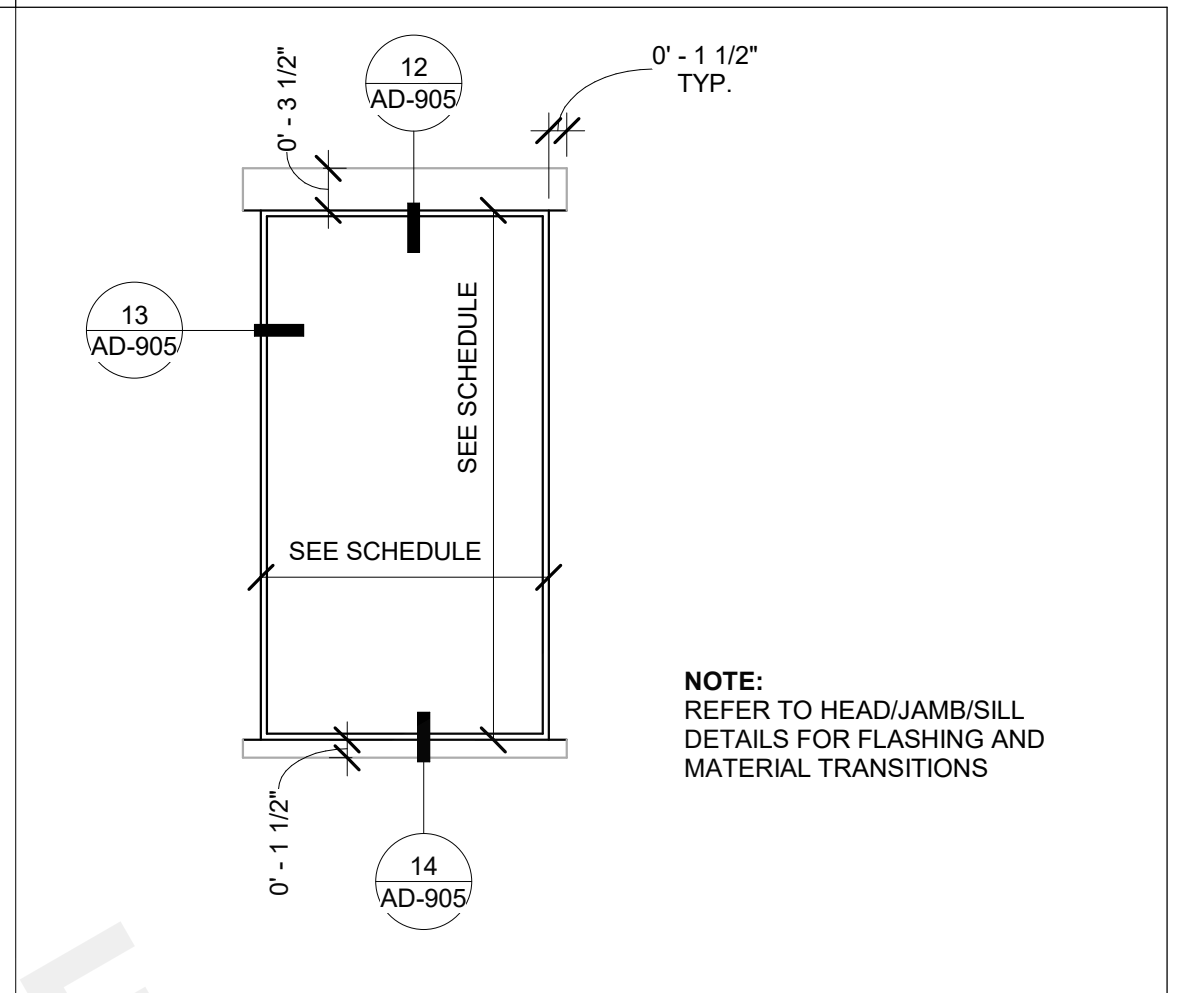
**31 RAKE @ PLASTER - SPANISH COLONIAL**

SCALE: 1 1/2" = 1'-0"



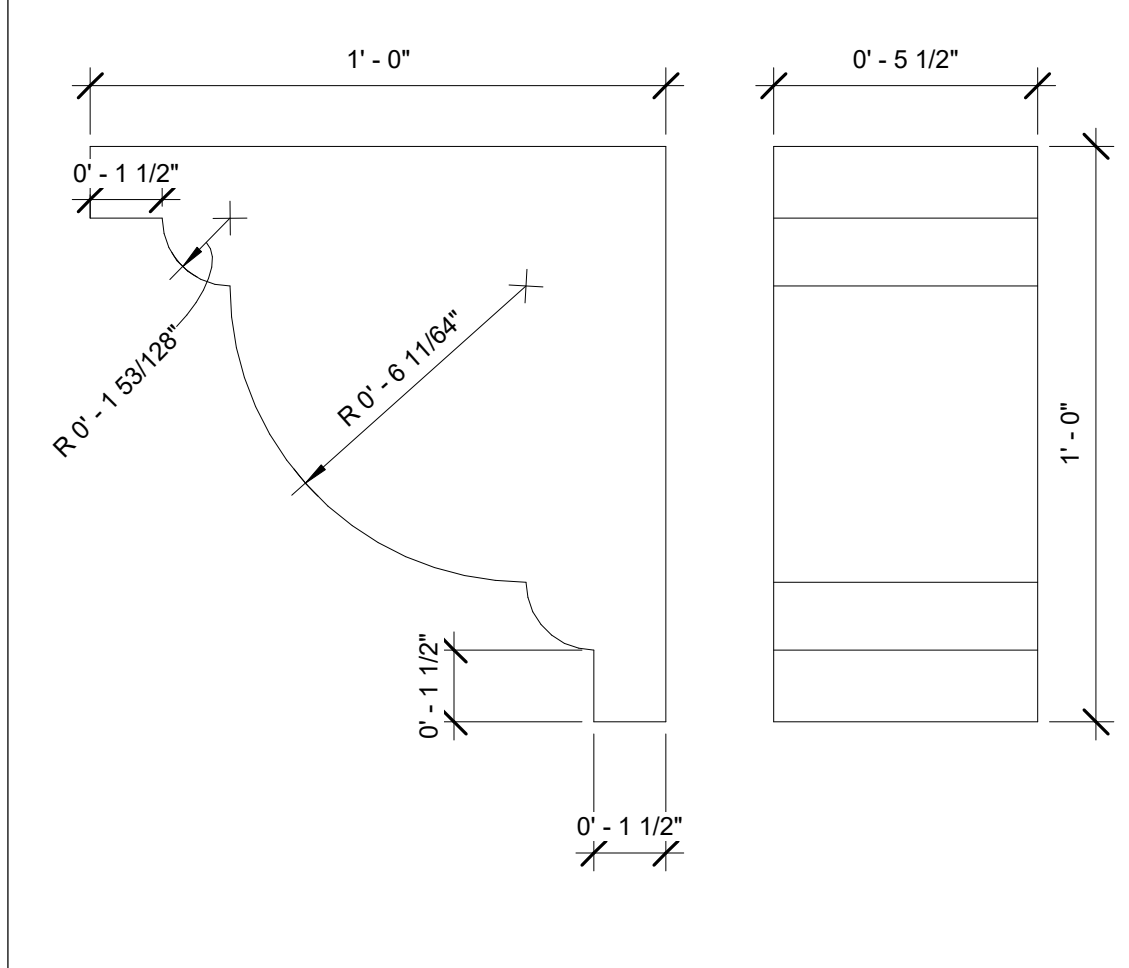
**21 DOOR TRIM - SPANISH COLONIAL**

SCALE: 3/4" = 1'-0"



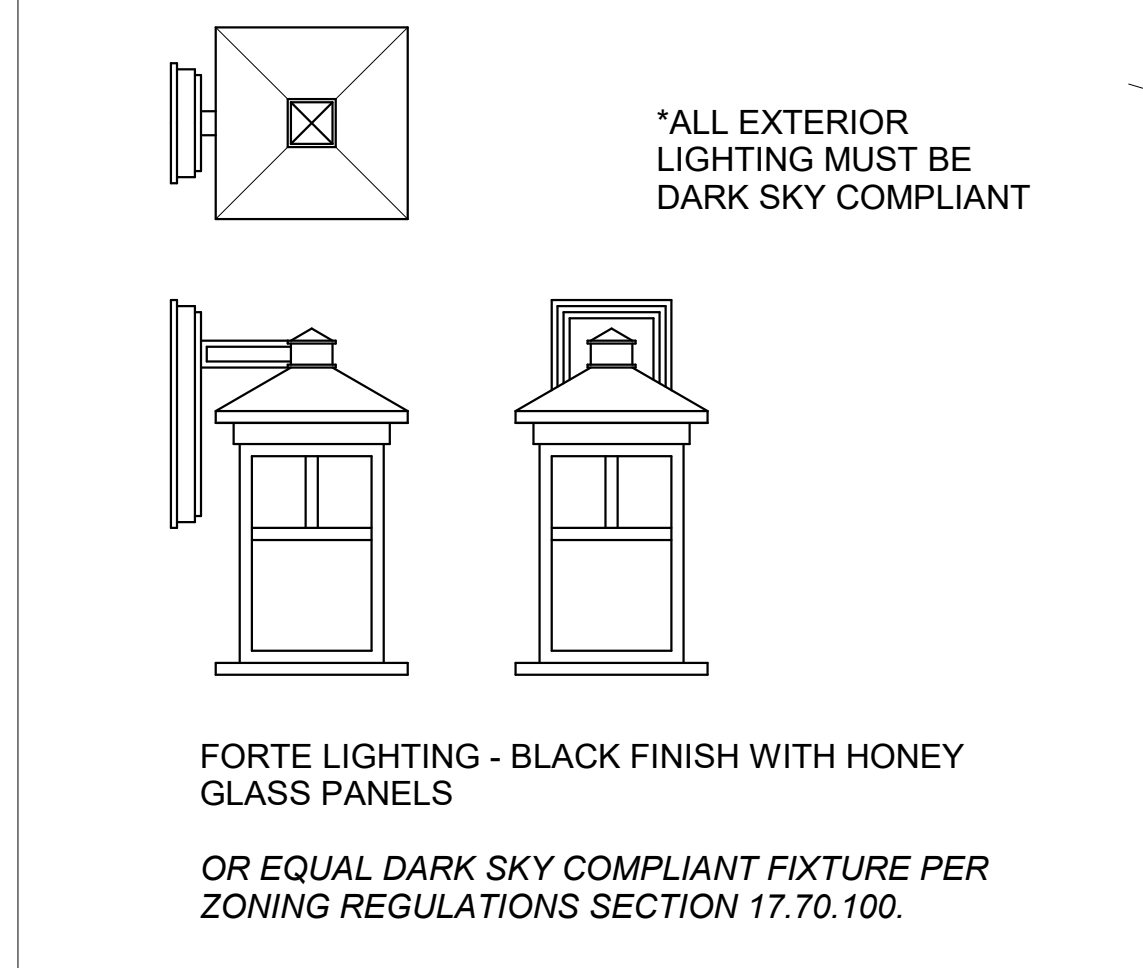
**11 WINDOW TRIM - SPANISH COLONIAL**

SCALE: 3/4" = 1'-0"



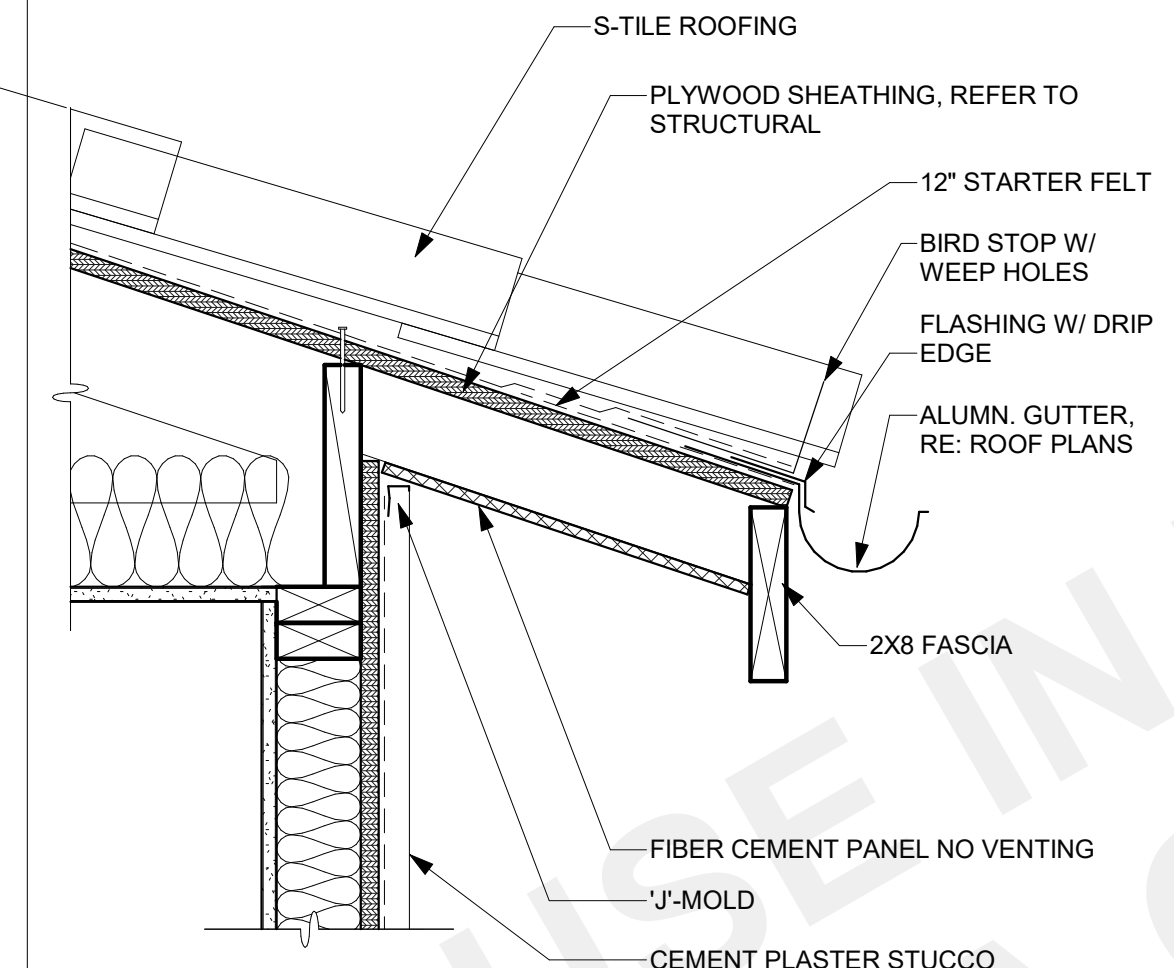
**52 DECORATIVE CORBEL - SPANISH PORCH**

SCALE: 3" = 1'-0"



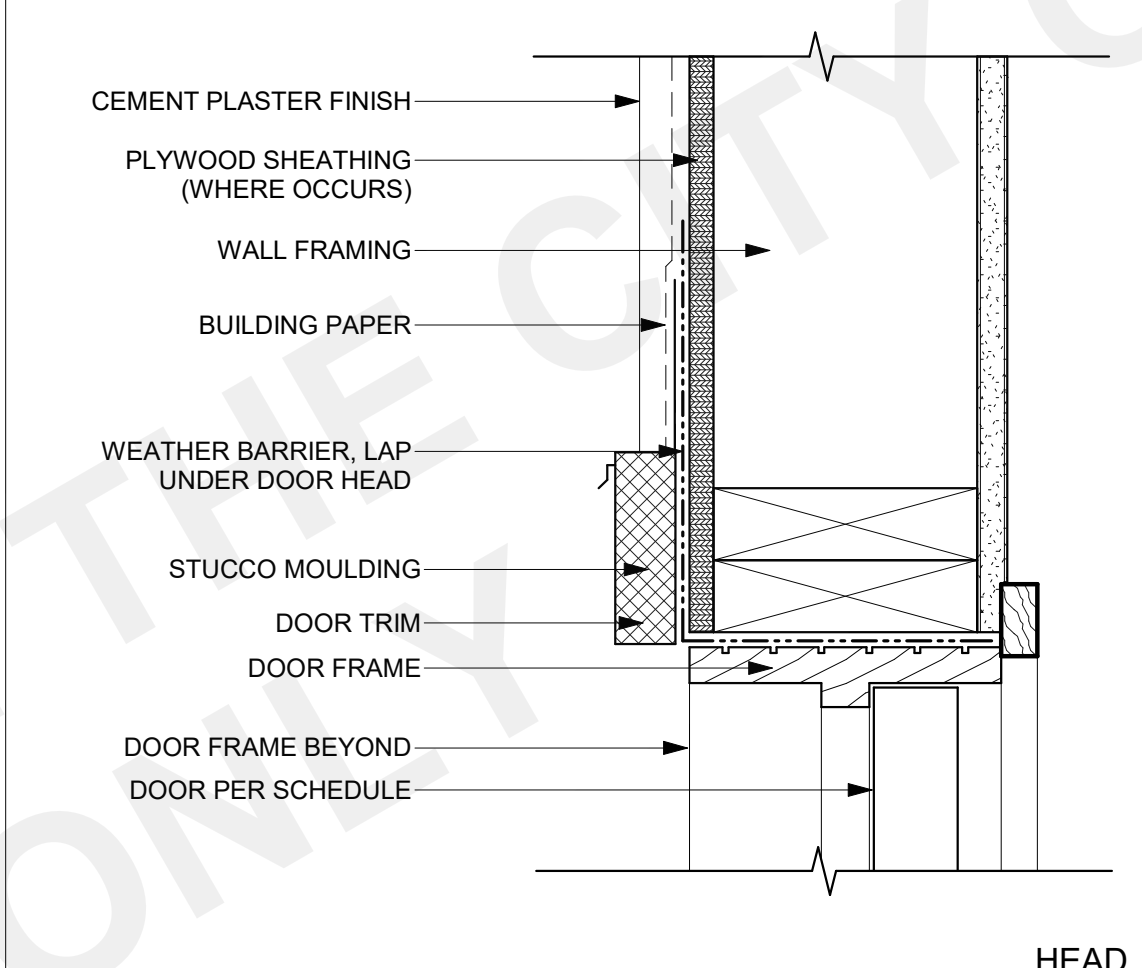
**42 TYP. LIGHT FIXTURE - SPANISH**

SCALE: 1 1/2" = 1'-0"



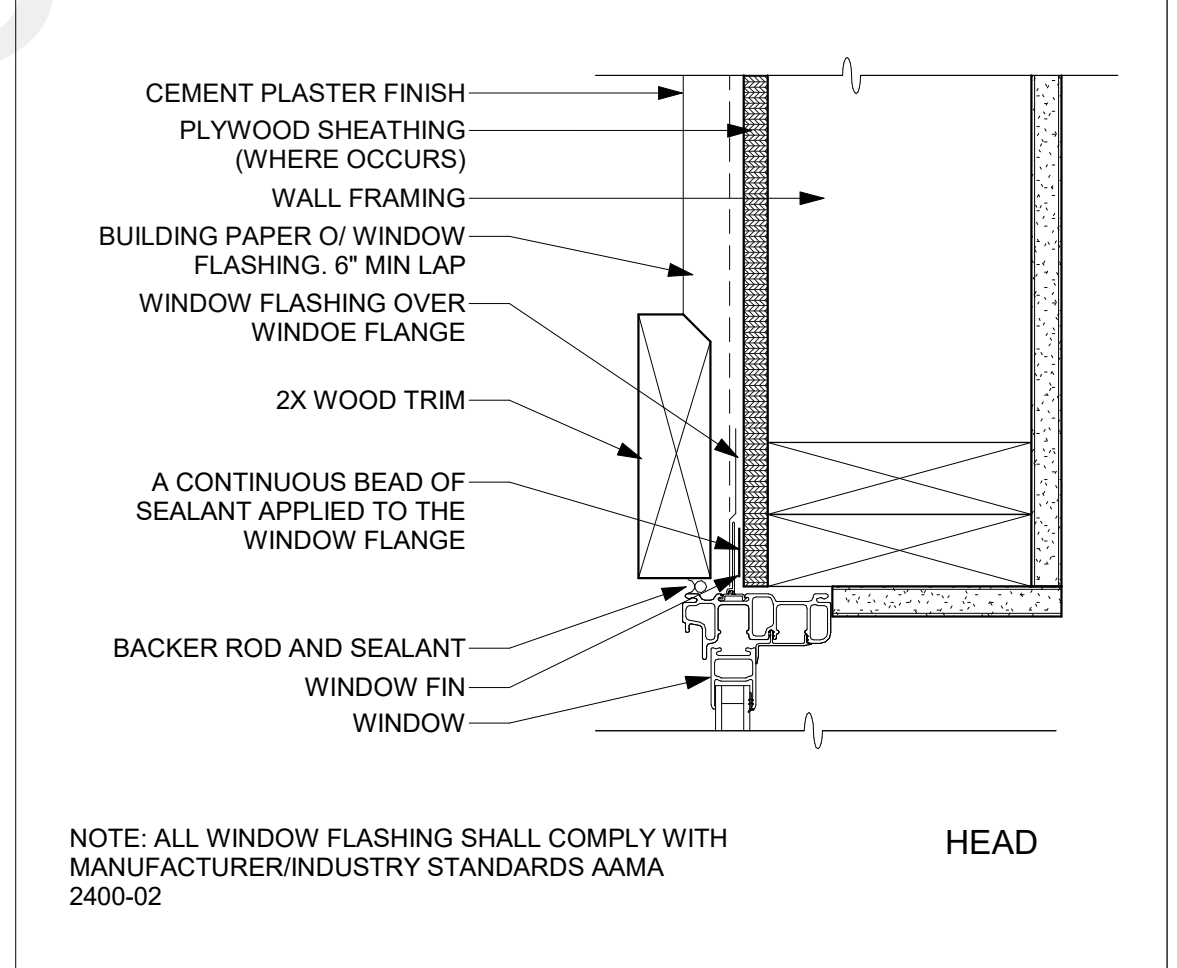
**32 EAVE @ PLASTER - SPANISH COLONIAL**

SCALE: 1 1/2" = 1'-0"



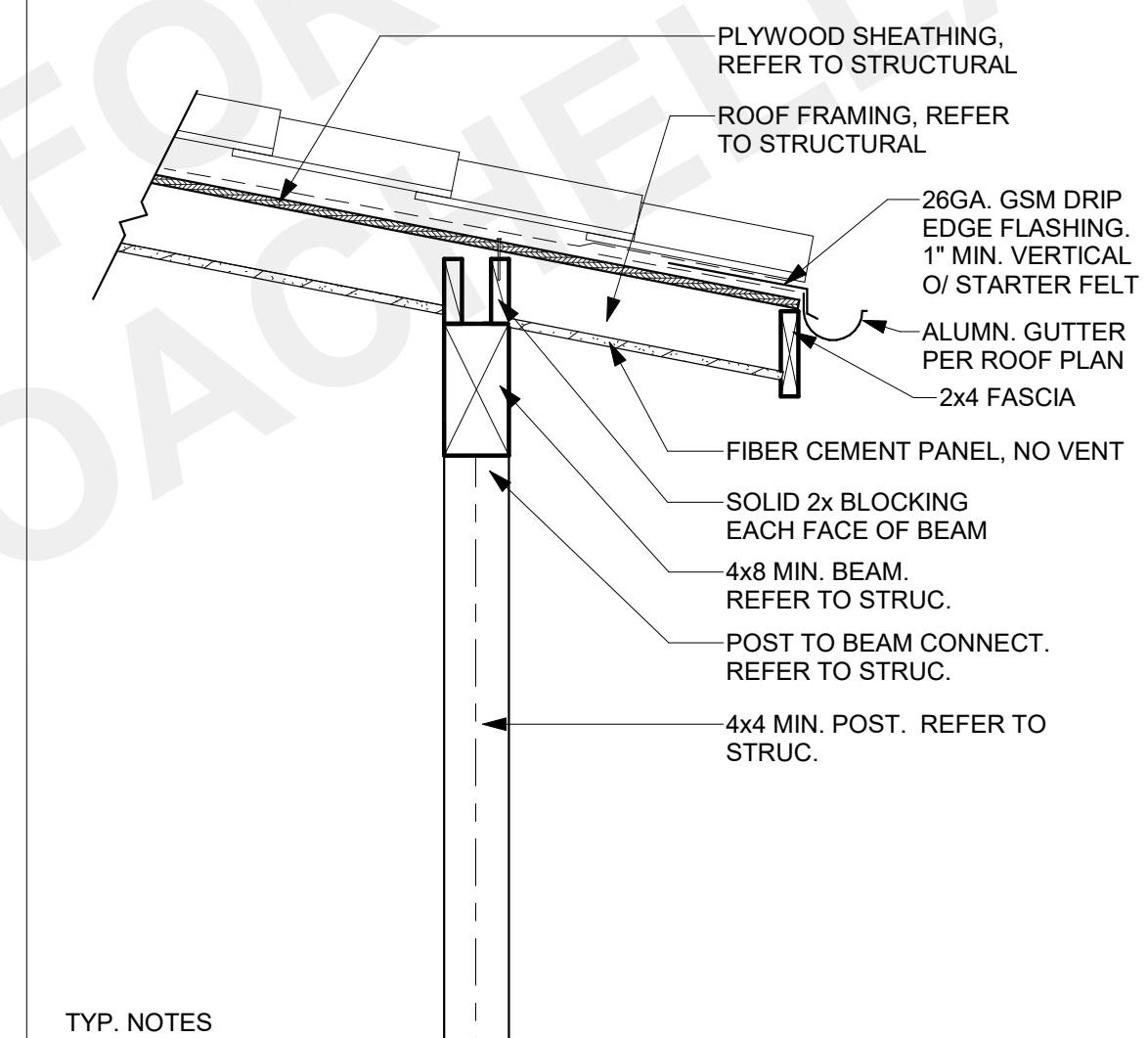
**22 DOOR HEAD - SPANISH**

SCALE: 3" = 1'-0"



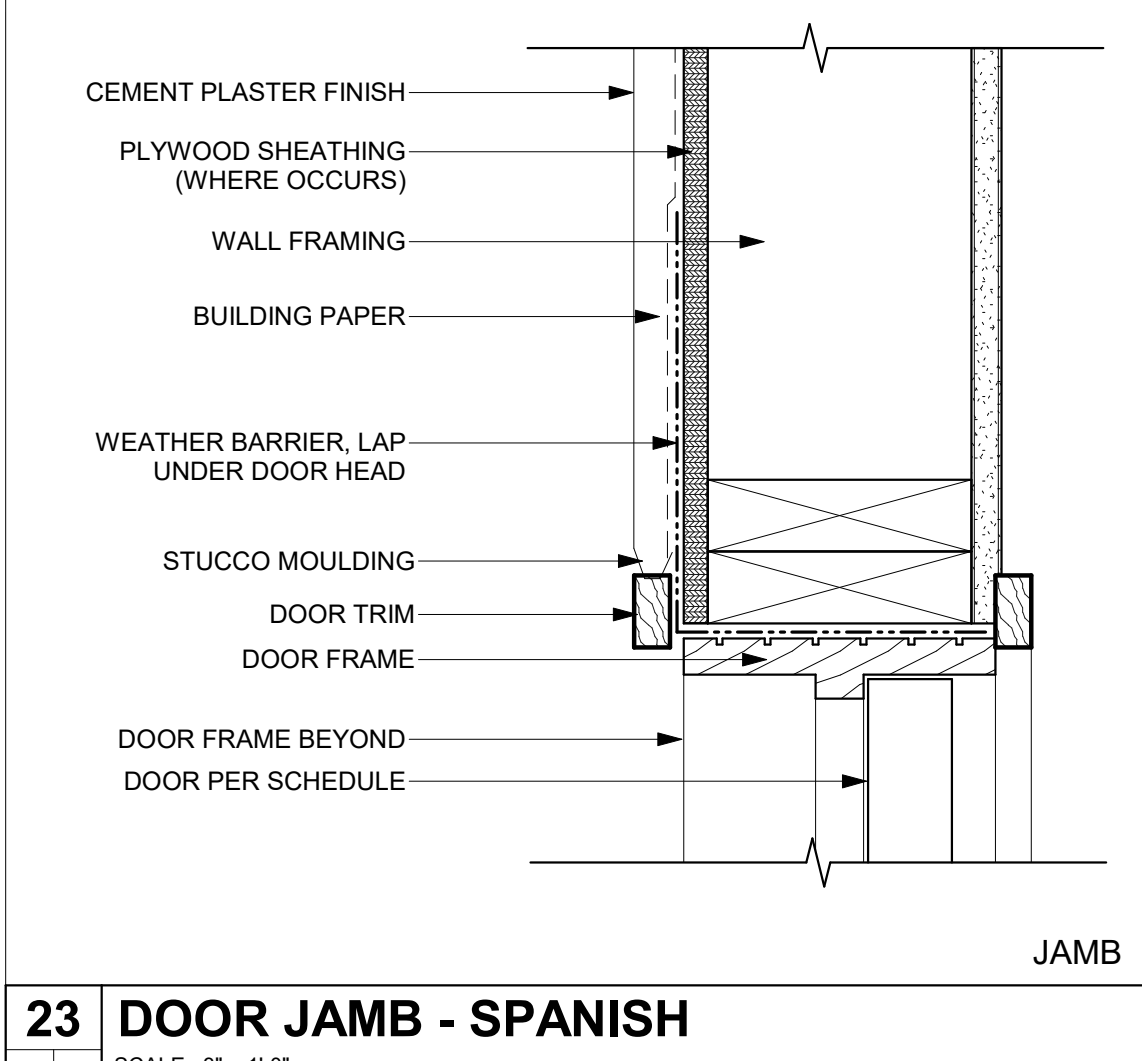
**12 TYP. WINDOW HEAD**

SCALE: 3" = 1'-0"



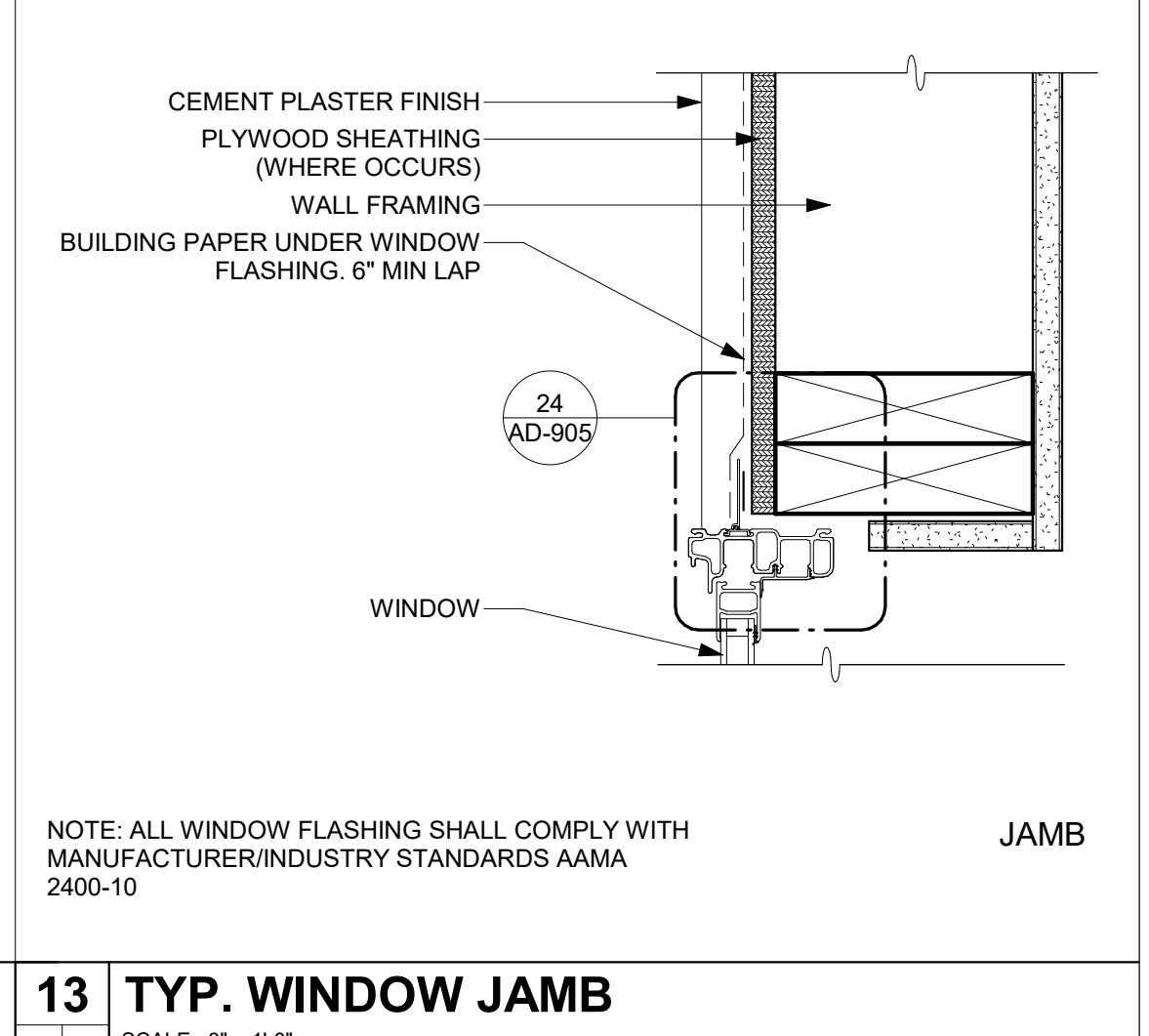
**34 POST W/ ROOF - SPANISH**

SCALE: 3/4" = 1'-0"



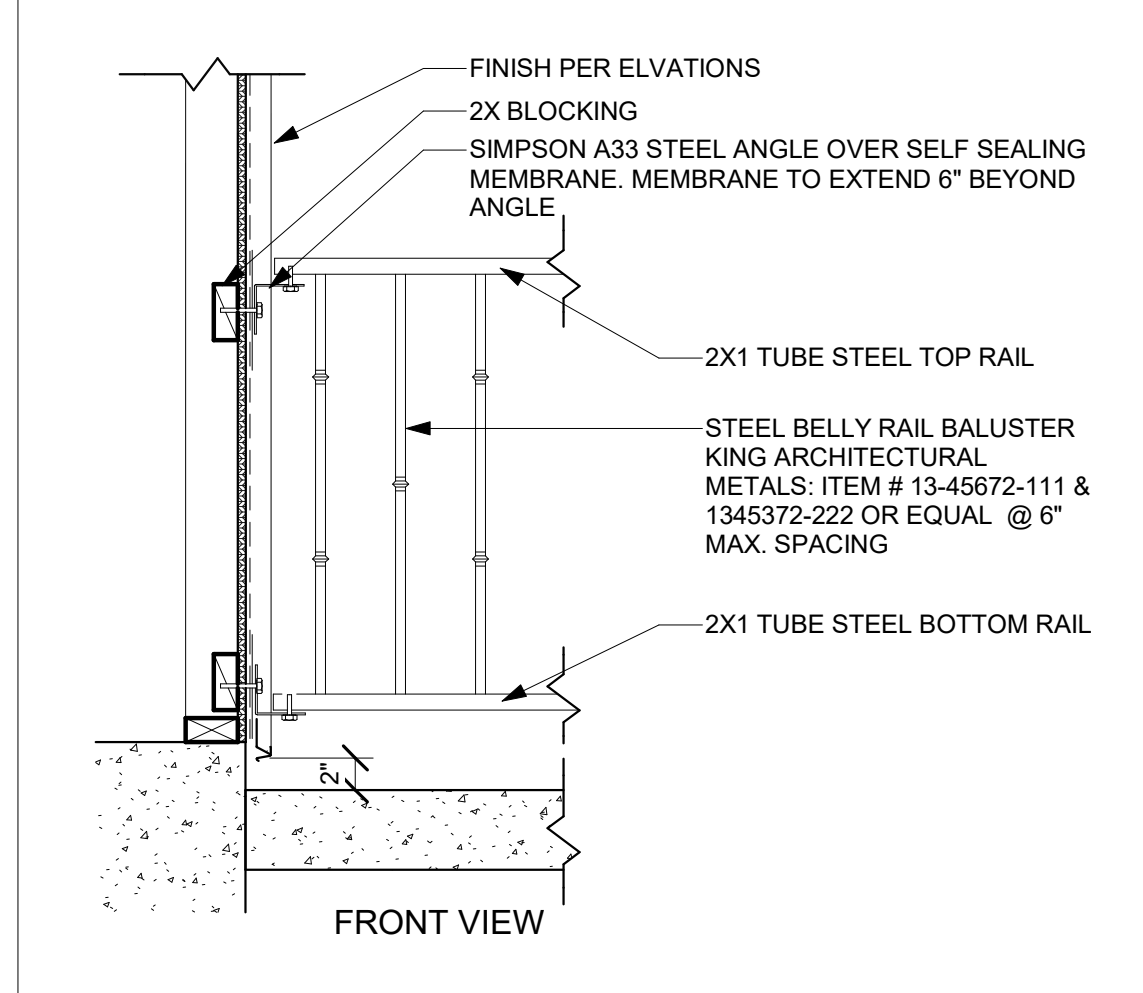
**23 DOOR JAMB - SPANISH**

SCALE: 3" = 1'-0"



**13 TYP. WINDOW JAMB**

SCALE: 3" = 1'-0"

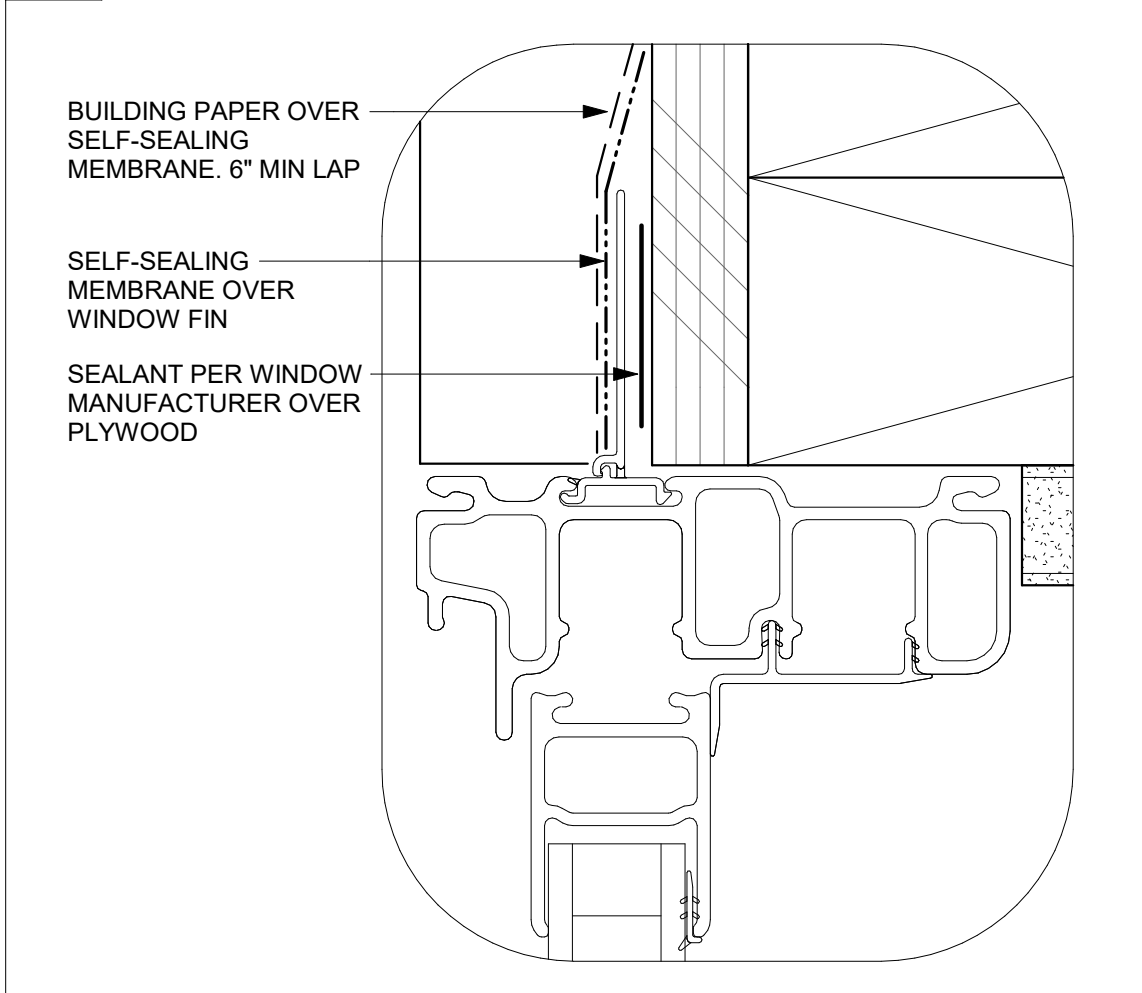


**44 RAILING - METAL**

SCALE: 1" = 1'-0"

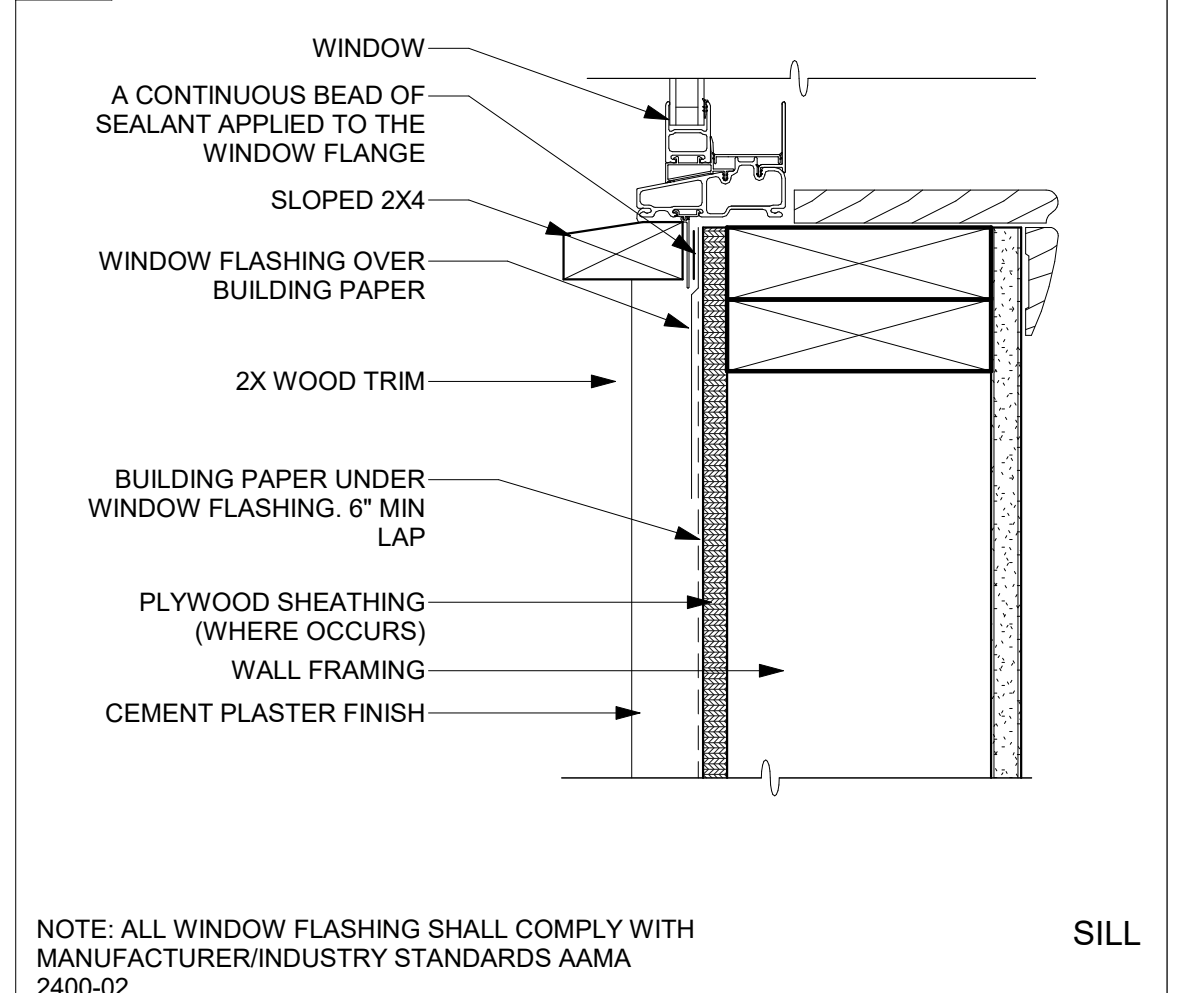
**24 DETAILED JAMB FLASHING**

SCALE: 12" = 1'-0"



**14 TYP. WINDOW SILL**

SCALE: 3" = 1'-0"



**14 TYP. WINDOW SILL**

SCALE: 3" = 1'-0"

PUBLIC SET

DATE  
01/11/24  
SHEET

PROTOTYPE ADU  
2 CAR GARAGE CONVERSION  
COACHELLA, CA  
ARCHITECTURAL DETAILS -  
SPANISH COLONIAL

AD-905

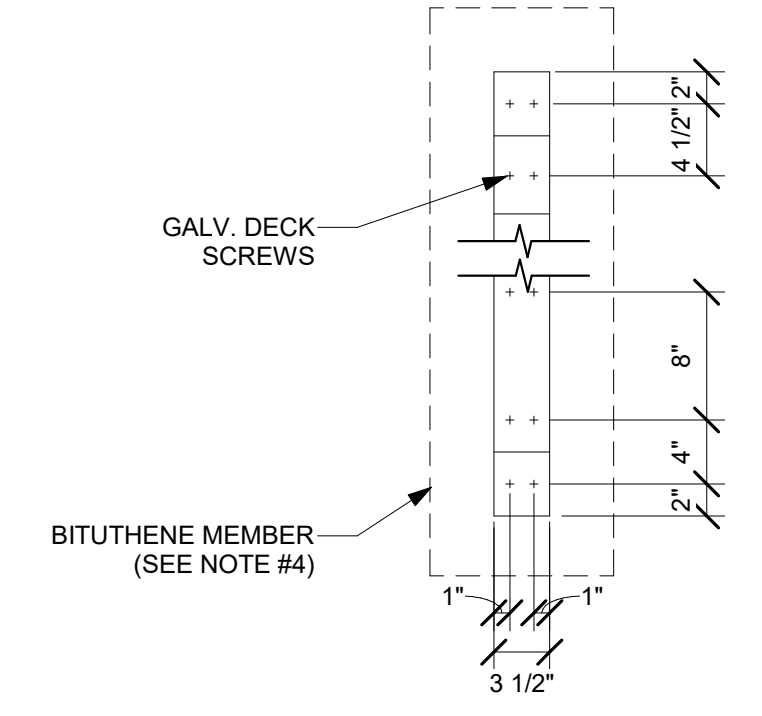
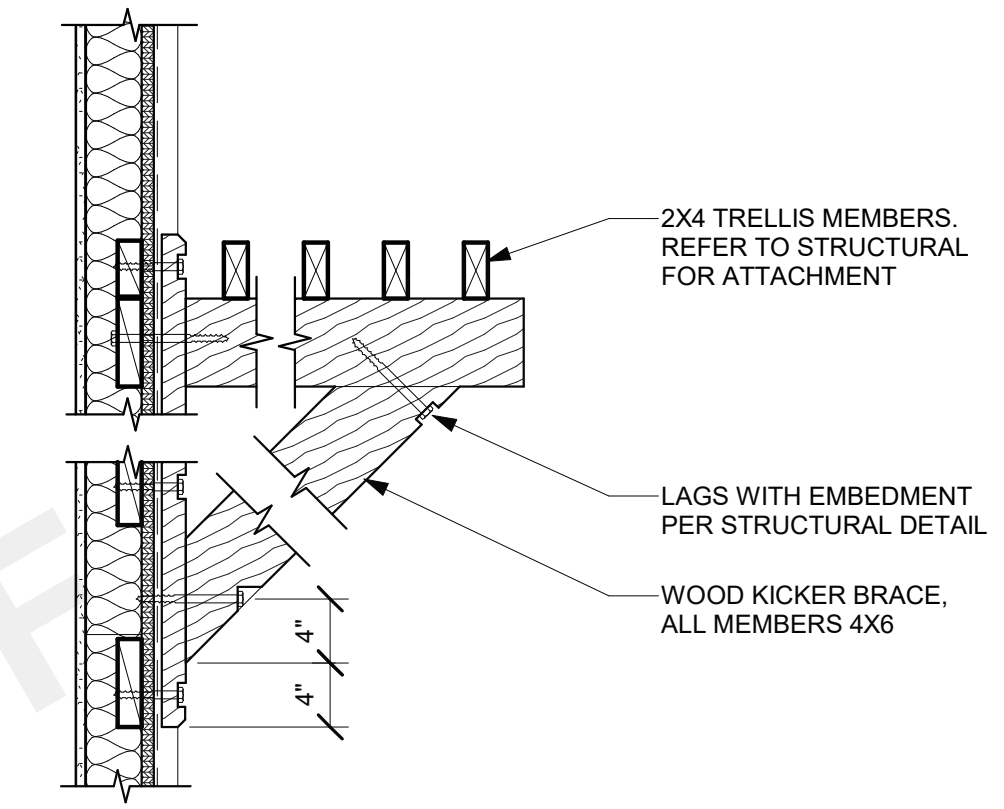
7/19/2024 8:55:07 AM Autodesk Docs:12893\_Coachella ADU122939-01\_Coachella ADUs\_Garage Unit.rvt





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- NOTES**
1. PRE-PRIME ALL SIDES OF BRACE FRAMING PRIOR TO INSTALLATION. TYPICAL
  2. A SELF SEALING MEMBRANE SHALL BE INSTALLED BEHIND WALL TRIM & EXTEND 6" BEYOND WALL TRIM AND 4" MIN. LAP O/WEATHER BARRIER
  3. CAULK AROUND TOP & SIDES OF 4X AT WALL PENETRATION.
  4. A BITUTHENE MEMBRANE SHALL BE INSTALLED BEHIND 4X6 BRACE W/ 4" LAP MIN.



**12 BRACE W/ KICKER - TRELLIS**  
SCALE: 1" = 1'-0"

APPROVED FOR USE IN THE CITY OF COACHELLA ONLY

**PROTOTYPE ADU  
2 CAR GARAGE COVERSION**  
COACHELLA, CA

ARCHITECTURAL DETAILS -  
SPANISH COLONIAL

PUBLIC SET

DATE  
01/11/24  
SHEET

AD-906